



**AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, NOVEMBER 28, 2018
5:30 PM AT CITY HALL**

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Minutes of November 14, 2018.

Public Comments

Public Hearing

2. **Rezoning – From A-1, Agricultural District to R-1, Residence District**

Location: North end of Arbors Drive and west end of Richard Road

Applicant: Panther Farms, Owner; CGA Inc., Engineer

Previous discussion: None

Recommendation: *Introduction and discussion.*

P&Z Action Needed: *Continue public hearing at the December 12th P&Z meeting.*

New Business

3. **Central Business District Overlay District - Design Review: Tea Cellar**

Location: 209 State Street

Applicant: Justeen Hill, owner of the Tea Cellar

Previous discussion: None

Recommendation: *Recommend Approval*

P&Z Action Needed: *Review and make a Recommendation to City Council*

4. **Planned Commercial District (PC-2) Site Plan Review: 936 Viking Outbuilding #1**

Location: 936 Viking Road, Outbuilding #1

Applicant: HI YIELD LLC, Owner; Clapsaddle-Garber Associates, Inc., Engineer

Previous discussion: None

Recommendation: *Recommend Approval*

P&Z Action Needed: *Review and make a Recommendation to City Council*

5. **College Hill Neighborhood Overlay District - Site Plan Review: 2119 College Street**

Location: 2119 College Street, 925 W. 22nd Street, & 1003 W. 22nd Street

Applicant: CV Commercial, LLC., Owner; Slingshot Architects, Architect

Previous discussion: None

Recommendation: *Introduction and discussion.*

Action Needed: *Provide direction, comments and continue the discussion at the December 12th P&Z meeting.*

Commission Updates

Adjournment

Reminders:

- * December 12th and December 26th Planning & Zoning Commission Meetings
- * December 3rd and December 17th City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
November 14, 2018
City Hall Council Chambers
220 Clay Street, Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on Wednesday, November 14, 2018 at 5:30 p.m. in the City Hall Council Chambers, 220 Clay Street, Cedar Falls, Iowa. The following Commission members were present: Adkins, Arntson, Giarusso, Holst, Leeper, Oberle, and Wingert. Hartley and Saul were absent. Karen Howard, Planning and Community Services Manager, David Sturch, Planner III, Shane Graham, Planner II, and Iris Lehmann, Planner I, were also present.

- 1.) Chair Oberle noted the Minutes from the October 10 regular meeting are presented. Ms. Giarusso made a motion to approve the Minutes as presented. Mr. Holst seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Arntson, Giarusso, Holst, Leeper, Oberle and Wingert), and 0 nays.

Chair Oberle also noted the Minutes from the October 24 regular meeting are presented. Ms. Giarusso made a motion to approve the Minutes as presented. Mr. Wingert seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Arntson, Giarusso, Holst, Leeper, Oberle and Wingert), and 0 nays.

- 2.) The first item of business was the Park Ridge Estates Preliminary Plat. Chair Oberle introduced the item and Mr. Sturch provided background information. He explained that the item was introduced in September and since then the developer and engineer have been working together with adjacent property owners to create a new design for the plat and stormwater runoff. The property is at the north end of Lakeshore Drive and rezoning of the area is going through the approval process with City Council. He explained that approximately 9 acres of the plat are in the floodplain, and contains significant tree stands, steep slopes and meandering streams. He displayed renderings of the existing conditions and proposed stormwater and explained the plans for the plat. Staff recommends approval of the preliminary plat.

Mr. Wingert noted that he will abstain from the item.

Adam Daters, Clapsaddle-Garber Engineers, the developer of the project spoke to the design of the subdivision, specifically the stormwater management system to handle stormwater conveyance.

Jim Hancock, Lakewood Hills addition, complimented and recognized that the developer and the engineer have done a great job of working with the neighbors and addressing their concerns. He feels that the design will benefit the issues. He noted that the existing storm sewer system in the neighboring subdivision is inadequate, but realizes that is not the developer's responsibility, and hopes that the city will help address the issue.

Tammy Stahl, 1009 Lakeshore Drive, apologized for her harsh words for Mr. Wingert.

Mr. Leeper stated that he appreciates the way that everyone worked together to address the concerns. Mr. Daters agreed and that he felt it was a very positive experience. Mr. Holst agreed as well.

Mr. Holst made a motion to approve. Mr. Leeper seconded the motion. The motion was approved unanimously with 6 ayes (Adkins, Arntson, Giarusso, Holst, Leeper and Oberle), 1 abstention (Wingert) and 0 nays.

- 3.) The next item for consideration by the Commission was a Central Business District Overlay Design Review for Lark Brewing. Chair Oberle introduced the item and Ms. Lehmann provided background information. She explained that the property is located at 312 Main Street and is being renovated for a new brewing company, and it includes interior renovations and an overhead door along the back of the building. As the property is located in the Central Business District, the proposed opening is considered a substantial improvement. The proposed overhead door will be used for bringing in brewery equipment and daily delivery and shipping of products. Ms. Lehmann discussed the proposed work and the design review criteria and noted that staff feels that all elements have been met and recommends approval.

Mr. Holst made a motion to approve. Ms. Giarusso seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Arntson, Giarusso, Holst, Leeper, Oberle and Wingert), and 0 nays.

- 4.) The Commission then considered a College Hill Overlay Design Review for Icon Donut. Chair Oberle introduced the item and Ms. Lehmann provided background information. The property is located at 917 W. 23rd Street and is proposed to house Icon Donut. Interior renovations, a projecting sign and awnings are proposed as part of the project. Any major improvements to the exterior of buildings in the College Hill Overlay District require Planning and Zoning review. Ms. Lehmann provided renderings of the proposed sign and awning. Staff feels that the proposal meets the requirements of the District and recommend approval.

Mr. Arntson made a motion to approve. Mr. Wingert seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Arntson, Giarusso, Holst, Leeper, Oberle and Wingert), and 0 nays.

- 5.) The next item of business was a Business Research District Site plan for Rabo AgriFinance. Chair Oberle introduced the item and Mr. Graham provided background information. He explained that the proposed site is located along Technology Parkway east of Hudson Road and west of Chancellor Drive. It is an approximately 3 acre site and City Council approved a Development Agreement with the property owner, Six Kids, LLC, to build the building. It is proposed to build a 17,000 sq. ft., one story building for Rabo AgriFinance. He provided a rendering of elements of the site, including entrance, parking area, trash enclosure and detention basin. He also displayed a rendering of the building from front, rear west and east side elevations, and discussed the materials being proposed. Mr. Graham showed the landscaping plan and signage plan. Staff recommends approval of the site plan.

Dan Levi, Levi Architecture, explained that the project is straightforward. The concept is similar to the building next door and made himself available for any questions. Mr. Wingert and Mr. Arntson stated that it looked like a good project for the area.

Mr. Leeper made a motion to approve. Mr. Wingert seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Arntson, Giarusso, Holst, Leeper, Oberle and Wingert), and 0 nays.

- 6.) Ms. Howard noted the changes that will be coming with the new software being used for packets and stated that if there are any questions, the IT department would be happy to help.

7.) As there were no further comments, Mr. Holst made a motion to adjourn. Mr. Leeper seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Arntson, Giarusso, Holst, Leeper, Oberle and Wingert), and 0 nays.

The meeting adjourned at 6:00 p.m.

Respectfully submitted,



Karen Howard
Community Services Manager



Joanne Goodrich
Administrative Clerk



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
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MEMORANDUM

Planning & Community Services Division

TO: Planning & Zoning Commission
FROM: Iris Lehmann, Planner I
DATE: November 20, 2018
SUBJECT: Rezoning Request – Prairie West II

REQUEST: Rezone property from A-1, Agricultural to R-1, Single Family Residential

PETITIONER: Panther Farms, Owner; CGA Inc., Engineer

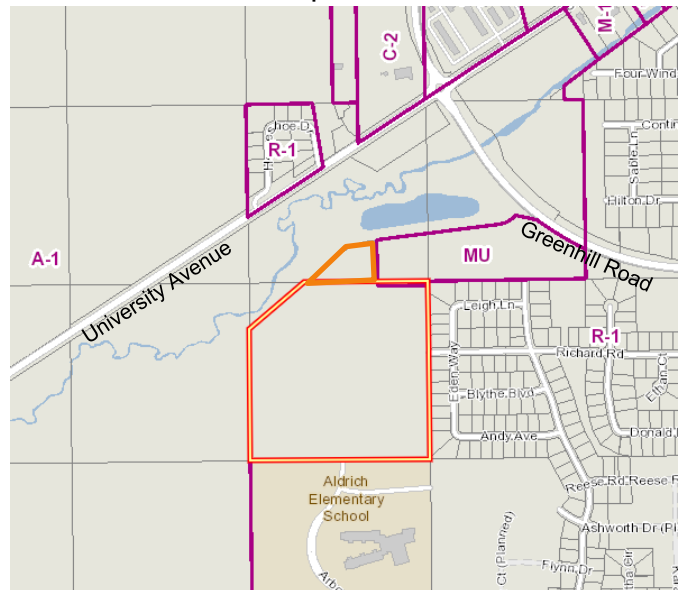
LOCATION: 40.62 acres at the North end of Arbors Drive and the West end of Richard Road

PROPOSAL

The applicant has submitted a request to rezone 40.62 acres of land off of the North end of Arbors Drive and the West end of Richard Road from A-1, Agricultural to R-1, Residential. The area being rezoned consists of two different parcels of land, see areas outlined in red in the map below. The rezoning will allow for the development of single family homes similar to the neighboring subdivisions of the Prairie West and Prairie Winds developments.

BACKGROUND

This property has been zoned agricultural since the adoption of the Zoning Ordinance in 1970. The land is surrounded by R-1, Single Unit Residential zoning to the South and East and MU, Mixed Use Residential District to the Northeast. The owner wishes to rezone the land for future residential development. The other half of the northern parcel was rezoned to MU in July of 2016. The rezoning of these properties must be carefully considered by evaluating the characteristics of the land and surrounding properties. This staff report will outline a number of these elements in order to have a firm understanding of the future use of this property.



ANALYSIS

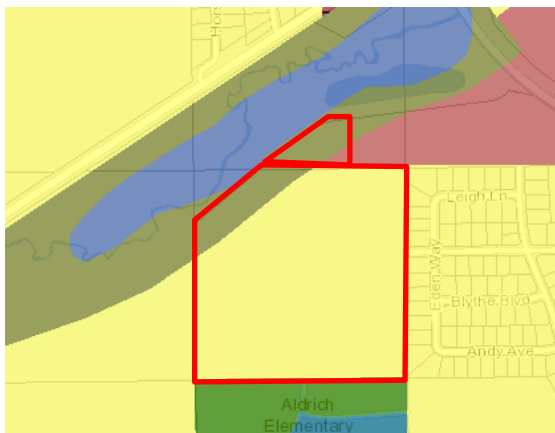
The purpose of the A-1, agricultural zoning district is to act as a “holding zone” for future development when municipal services (sanitary sewer, water, roads) are accessible to the site. When these services are available, the land is ripe for development according to the City’s Comprehensive Plan. Before land can be developed it must be zoned appropriately, which will then allow for platting, as necessary, and construction.

As previously mentioned, this 40.62 acre property is surrounded by residential zoning. Aldrich Elementary School is being constructed directly to the south. The property to the north is zoned for a future mixed use development and to the east is the Prairie West 7th Addition residential subdivision. The land to the west is zoned A-1, Agricultural, and consists of farmland and the floodplain along Dry Run Creek.

Zoning considerations involve evaluation of the following four criteria:

- 1) Is the rezoning request consistent with the Future Land Use Map and the Comprehensive Plan?

The Future Land Use Map identifies this and the surrounding properties as Low Density Residential and Greenways/Floodplain. Low density residential emphasizes single family detached development. Typical densities range from 1 to 4 units per acre. The requested R-1 Zoning is consistent with the Future Land Use Map. Development of the property will provide additional residential housing in proximity to the new elementary school.

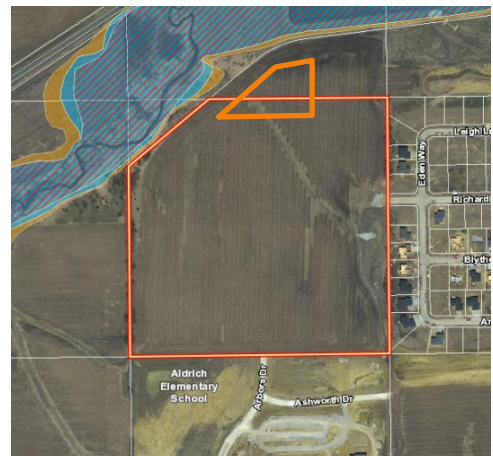


Future Land Use Map with Categories



- 2) Are areas of this site in the Floodplain? Are there environmental sensitive areas that need to be protected?

As both of these lots have been farmed the topography of the land is relatively flat. Both properties border the floodplain boundary (see image to the right). The floodway is indicated by red hashing, the blue shaded area represents the boundaries of the 100 year flood plain, and the orange shaded area represents the boundaries of the 500 year flood plain. The properties subject to this rezoning do not fall within the floodplain.



There does not appear to be any environmentally sensitive areas on these sites that need to be protected. This will be confirmed when the land is subdivided for development. If any sensitive areas are found during the required environmental assessment they will be protected.

- 3) Is the property readily accessible to sanitary sewer and water services?
These developments, as well as any development in the city will be provided with full municipal services. Sanitary sewer and water are readily available to the site. Connections to sanitary sewer and water service are available from Arbors Drive to the South and Richard Road to the East. There will also be future connections to Greenhill Road to the north as development continues in this area. In order to further develop the land to the west of the proposed site, the necessary infrastructure (i.e. sanitary sewer and water) will need to be extended to the western boundaries of this site.
- 4) Does the property have adequate roadway access?
Development of the property under R-1 Zoning will be possible by extending Arbors Drive from the south, which will also extend north as part of the West Village Subdivision to provide a street connection to Greenhill Road. Richard Road will be extended west to provide access to a future subdivision from the east. Any future subdivision will need to provide a pattern of streets that connects with the existing street network in this part of the community.

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, has reviewed the proposal and have no comments that need to be addressed on the proposed item.

The rezoning of this property would allow for the continued development of residential lots. A notice was mailed to the adjoining property owners on November 20, 2018 regarding this rezoning request.

PLANNING & ZONING COMMISSION

Introduction and
Public Hearing
11/28/2018

Vote
12/12/18

STAFF RECOMMENDATION

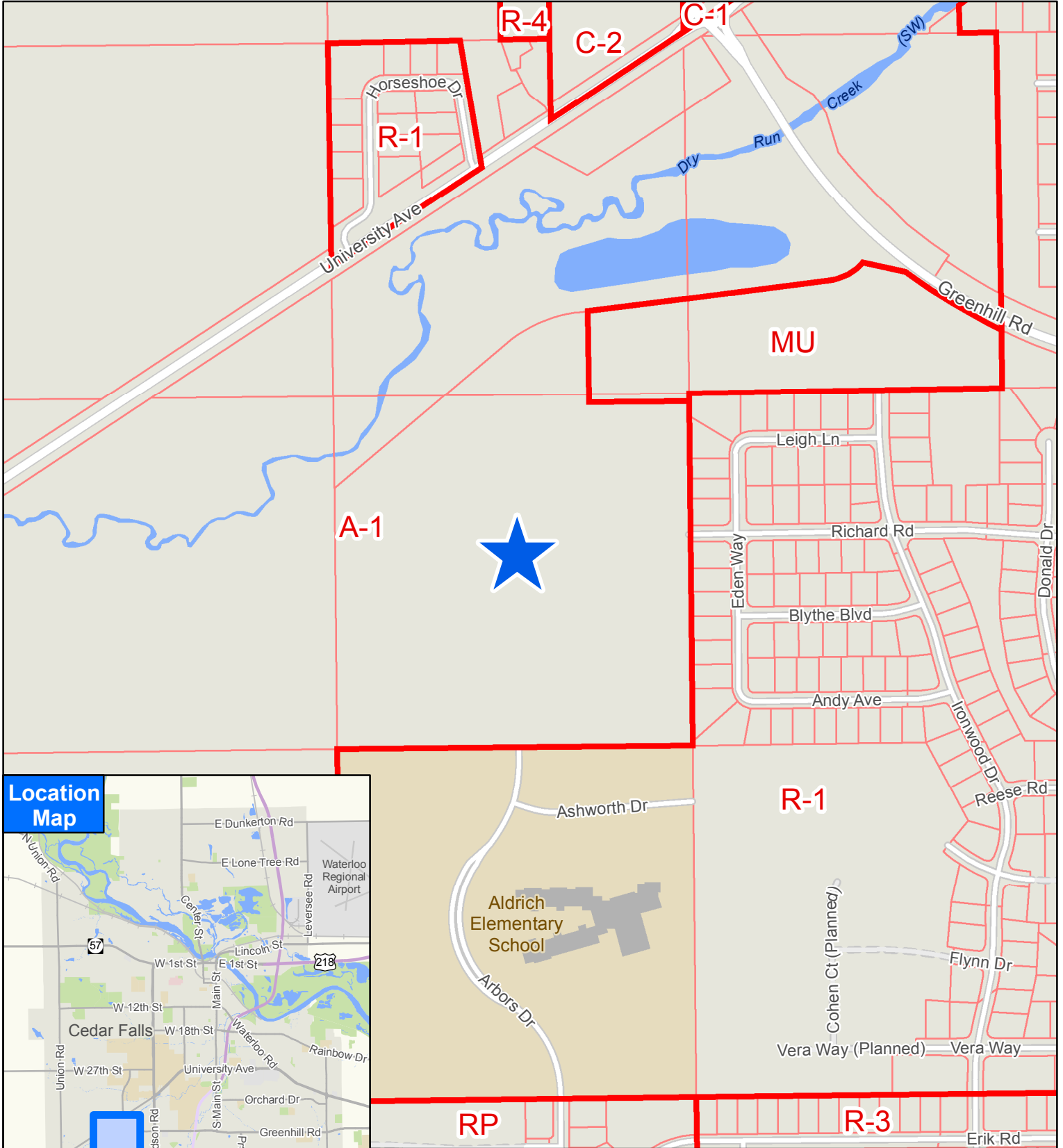
The Community Development Department recommends approval of the request to rezone the 40.62 acres from A-1 Agricultural District to R-1 Residential subject to the following conditions:

1. Any comments from the Planning and Zoning Commission and public.

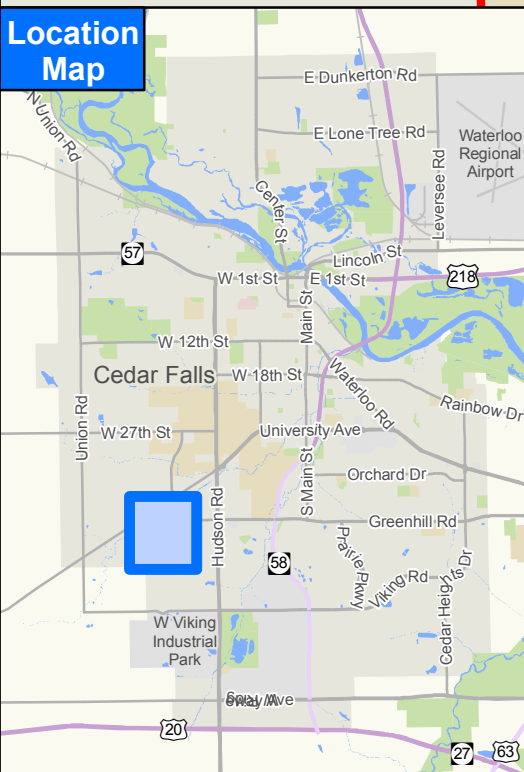
Attachments:
Location Map
Rezoning Exhibit
Letter of intent

Cedar Falls Planning & Zoning Commission

November 28, 2018



Location Map



Rezone 40.62 acres from A-1 to R-1
Panther Farms, LLC

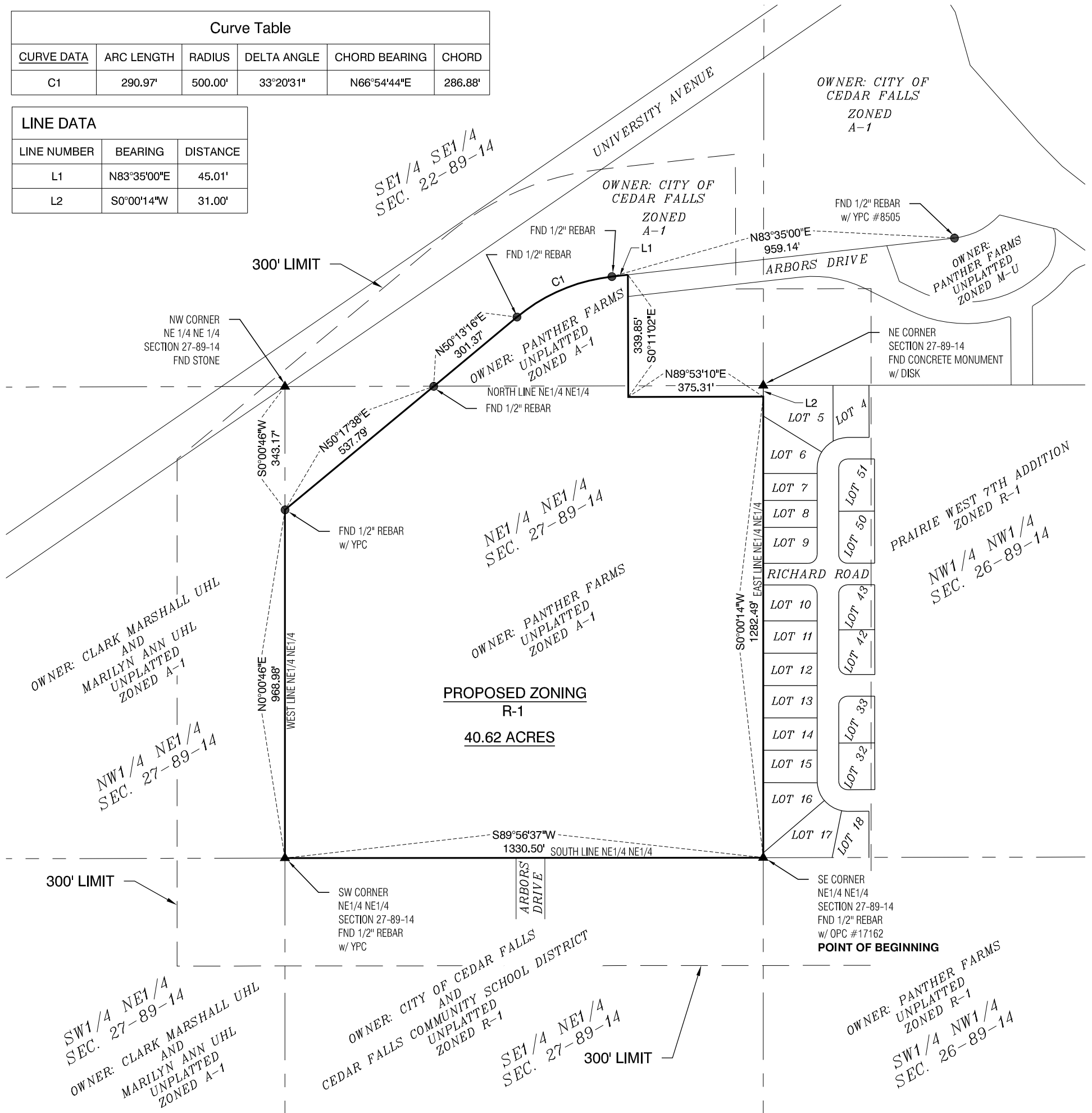
REZONING PLAT EXHIBIT PRAIRIE WEST II

Curve Table

CURVE DATA	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD
C1	290.97'	500.00'	33°20'31"	N66°54'44"E	286.88'

LINE DATA

LINE NUMBER	BEARING	DISTANCE
L1	N83°35'00"E	45.01'
L2	S0°00'14"W	31.00'

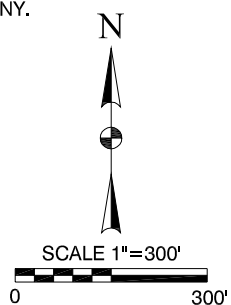


PROPOSED ZONING
R-1
40.62 ACRES

DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 27 AND THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, ALL IN TOWNSHIP 89 NORTH, RANGE 14 WEST OF THE 5th P.M., CITY OF CEDAR FALLS, BLACK HAWK COUNTY, IOWA.

MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 27; THENCE, S89°56'37"W 1330.50' ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 27 TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 27; THENCE, N0°00'46"E 968.98' ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 27; THENCE, N50°17'38"E 537.79'; THENCE, N50°13'16"E 301.37'; THENCE, NORTHEASTERLY 290.97' ALONG THE ARC OF A 500.00' RADIUS CURVE, CONCAVE SOUTHEASTERLY, HAVING A CHORD BEARING OF N66°54'44"E AND A CHORD DISTANCE OF 286.88'; THENCE, N83°35'00"E 45.01'; THENCE, S0°11'02"E 339.85'; THENCE, N89°53'10"E 375.31' TO A POINT ON THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 27; THENCE, S0°00'14"W 1282.49' ALONG SAID EAST LINE TO THE POINT OF BEGINNING, CONTAINING 40.62 ACRES. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.



NOTE:
ALL BEARINGS ARE THE RESULT OF G.P.S. OBSERVATIONS.

Clapsaddle-Garber Associates, Inc
16 East Main Street
Marshalltown, Iowa 50158
Ph 641-752-6701
www.cgaconsultants.com

DRAWN CAQ	SHEET NO. 10
DATE 10-9-2018	PR 0.

October 18, 2018

Planning Department
City of Cedar Falls
220 Clay St
Cedar Falls, IA 50613



RE: Prairie West 2 Subdivision Rezoning

To Whom It May Concern:

On behalf of Panther Farms, LLC, we would like to submit a rezoning application for parcel 8914-27-226-002 and part of 8914-22-478-004 as indicated on the rezoning exhibit. This land will be used as the next phase of the Prairie West subdivision and consist of a number of single-family homes to be built at a later date.

At this time the application is only to rezone the property to R1 from A1 and does not include platting or other planning efforts.

Please contact me at 641-752-6701, or stroskey@cgaconsultants.com if you have any questions.

Sincerely,

CLAPSADDLE-GARBER ASSOCIATES, INC.

A handwritten signature in black ink that reads "Stephen Troskey".

Stephen Troskey
Planner - Project Manager



DEPARTMENT OF COMMUNITY DEVELOPMENT

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MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Iris Lehmann, Planner I
DATE: November 20, 2018
SUBJECT: Design review of a property in the Central Business District Overlay

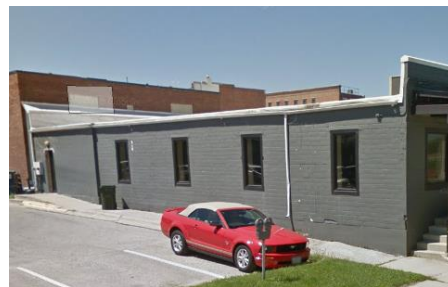
REQUEST: Design review for a new wall sign and awnings for 209 State Street
PETITIONER: Justeen Hill, owner of Tea Cellar
LOCATION: 209 State Street

PROPOSAL

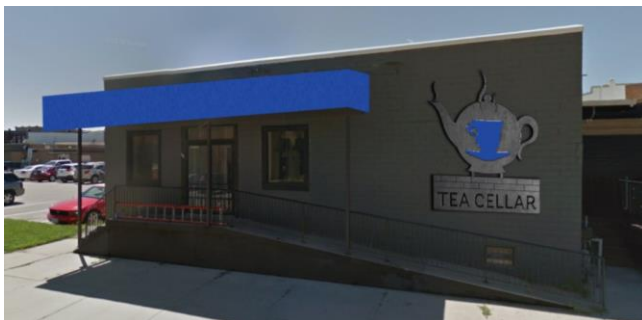
The applicant is requesting a façade review for a new wall sign and awnings at 209 State Street to advertise the building's new tenant, Tea Cellar. This property is within the Central Business District. See images of the existing and proposed façades below.



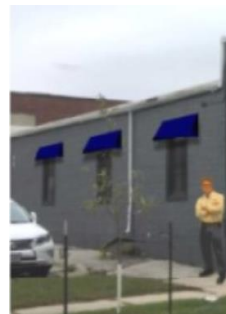
Existing storefront



Existing side



Proposed storefront



Proposed side

BACKGROUND

This item requires review by the Planning & Zoning Commission and the City Council since this property is located within the Central Business District (Section 29-168). The downtown district requires a building site plan review (i.e. design review) for any “substantial improvement” to an exterior façade, including a color or material change. A substantial improvement to properties in the CBD Overlay is defined in Section 29-186(c) and reads as follows:

“Substantial improvement” includes any new building construction within the overlay district or any renovation of an existing structure that involves any modification of the exterior appearance of the structure by virtue of adding or removing exterior windows or doors or altering the color or exterior materials of existing walls. All facade improvements, changes, alterations, modifications or replacement of existing facade materials will be considered a substantial improvement. Included in this definition are any new, modified or replacement awning structures or similar material extensions over the public sidewalk area. A substantial improvement also includes any increase or decrease in existing building height and/or alteration of the existing roof pitch or appearance.”

ANALYSIS

This property is located in a C-3, commercial zoning district, and falls within the Central Business District Overlay. As noted above, all substantial improvements to structures within the overlay district shall be reviewed by the Planning & Zoning Commission and City Council. The following is an evaluation of the project:

1. Proportion: The proportions of the building are not being altered. This criterion does not apply.
2. Roof shape, pitch and direction: The roof of the building is not being altered. This criterion does not apply.
3. Pattern: The surfaces and openings of this structure will remain the same. This criterion does not apply.
4. Building Composition: The composition of the building will remain the same. This criterion does not apply.
5. Window and transparency: The size, proportion and type of windows on the building are not changing. This criterion does not apply.
6. Materials and texture: The applicant is proposing to wrap a 2 foot wide blue "awning skirt" around the existing metal/wood awning on the storefront as well as add awnings over the four windows facing the neighboring parking lot to the south. The applicant will use a blue outdoor fabric for these improvements. The use of outdoor fabric is consistent with other awning materials in the district. This criterion is met.
7. Color: The colors of the exterior walls and roof of the building will not change. The applicant is proposing to use a blue fabric for the awnings that will act as an accent to the building. This criterion is met.
8. Architectural features: The architectural features of the building are remaining the same. This criterion does not apply.

9. Building Entries: The entry to the building will not change. This criterion does not apply.
10. Exterior mural wall drawings, painted artwork, exterior painting. This criterion does not apply for this review
11. Signage: The applicant is proposing to add a wall sign to the storefront. The sign will be a laser cut-out of 12 gauge cold-rolled steel with a clear seal coat to help prevent rusting. The wall sign will be approximately 4 feet wide and 6 feet high (24 sqft). The sign will not detract from the architectural features of the building and will cover approximately 2% of the storefront. Wall signs are not permitted to exceed 10% of the area of the storefront. The area of the 209 State Street storefront is approximately 1,035 sqft (69 feet wide x 15 feet tall). This criterion is met.



TECHNICAL COMMENTS

No comments.

PLANNING & ZONING COMMISSION

Discussion/Vote
11/28/2018

STAFF RECOMMENDATION

The Community Development Department recommends approval of the proposed awnings and wall sign for 209 State Street.

Attachments: Letter of intent from business owner

Iris,

Thank you for your information and for returning my call.

The property address Tea Cellar will be occupying is 209 State Street, Cedar Falls, owned by Dave Farris; Dave is copied on this email.

The signage I would like to display on the front of the building (facing State Street) would be fashioned by Kryton Engineering. It is a laser cut-out of 12 gauge cold-rolled steel with a clear seal coat applied after it is cut so the outside elements will not rust it. The center tea cut will be cut out and reattached, painted blue, to give it a 3D effect. Four to six mounting holes will be used around the entire edge in order to fasten it to the building; spacers will also be used to offset the sign approximately 1" from the wall. The dimensions are approximately 4' wide and 6' high.

The blue "awning skirt" will be 2' high and wrap around the existing metal/wood awning. Fabric will be used.

The side awnings are approximately 44" high by 36" in diameter. There are four windows facing south (parking lot). Fabric.

Tea Cellar currently occupies space at 208 Main Street (below Basket of Daisies) and has been at that location since November 3, 2016; my lease expires December 31st.

I am happy to drop off the processing fee of \$50 indicated in your email; is that workable?

I understand my deadline for submission is Monday, November 12th, and that review by the P&Z Committee is scheduled for November 28th and possible City Council meeting on December 3rd.

Do let me know if you are in need of anything further from me. Thank you.

Steepingly yours,
Justeen Hill



www.TeaCellarOnMain.com



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Shane Graham, Planner II
DATE: November 20, 2018
SUBJECT: PC-2 District Site Plan Review – 936 Viking Road

REQUEST: Request to approve a PC-2 Planned Commercial District Site Plan for a new 8,088 square foot retail building.

PETITIONER: HI YIELD LLC, Owner; Clapsaddle-Garber Associates, Inc., Engineer

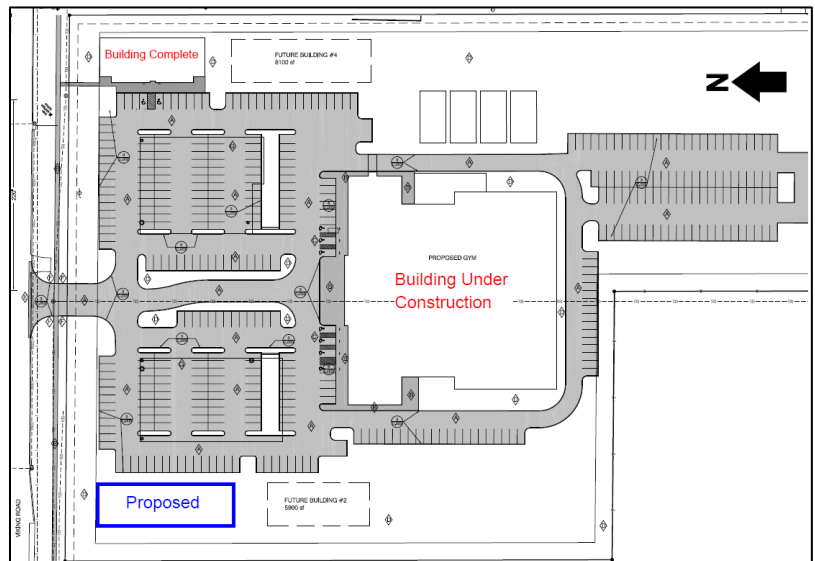
LOCATION: 936 Viking Road

PROPOSAL

It is proposed to construct an 8,088 square foot commercial building (in blue outline to the right) which will provide room for three tenants. The overall development plan for the property includes a 55,000 square foot gym/retail building, and four commercial buildings totaling approximately 30,000 square feet.

BACKGROUND

The property was rezoned by the City Council from A-1 Agricultural District to PC-2 Planned Commercial District on September 19, 2016. A site plan for just the gymnasium/retail building was approved by the City Council on December 15, 2016 after a unanimous recommendation of approval from the Planning & Zoning Commission. During the review of the gymnasium/retail building site plan in 2016, a general design of the 4 outbuildings was presented, however those buildings were not part of the original site plan approval. A site plan was presented for Outbuilding #3 at the northeast corner of the property, and was approved by City Council on August 21, 2017. Then, on October 16, 2017, a revised site plan for the gymnasium/retail building was approved by City Council, which added approximately 10,000 square feet of building area and added a parking area behind the building.



ANALYSIS

The property is zoned PC-2, Planned Commercial District. The PC-2 District is a predominantly commercial project containing retail and general service facilities on larger tracts of land that is designed and improved in accordance with a comprehensive project plan and developmental procedures agreement. It is further the purpose of these regulations to encourage high standards of building architecture and site planning which will foster commercial development that maximizes pedestrian convenience, comfort and pleasure.

As indicated in the Background section, several site plan reviews on this property have already been approved. The overall development plan for the property shows a total of five buildings; one has already been completed, and one is currently under construction. This approval is for the third of five buildings. A detailed site plan review of each building when it is proposed to be constructed is required to ensure that the development site satisfies a number of standards. Details such as building design and location, parking, landscaping, open space, signage, dumpster location, and other similar criteria are reviewed to ensure orderly and quality development in the PC-2 Planned Commercial District.

Following is a review of the zoning ordinance requirements:

- 1) Proposed Use: The 8,080 square foot retail/professional office building is a permitted use in the PC-2 District. **Use permitted.**
- 2) Setbacks: The setbacks apply to the building, parking lot and signage. The PC-2 District normally requires a 30-foot setback around the perimeter of the "district". The PC-2 District also states that for areas less than 10 acres in size, that the setback area may be reduced to 20', subject to review and approval from the Planning & Zoning Commission and City Council. The developer did ask that the 30 foot open space buffer setback be reduced to 20 feet in width, which was approved by City Council.

The proposed building is located 35 feet from the front property line and 38 feet from the side property line, which meet the 20 foot minimum buffer requirements. The parking area is also shown 35 feet from the front property line as well. **Building and Parking Area setbacks are satisfied.**

- 3) Parking: Retail stores over 2,000 square feet require 4.5 stall per 1,000 square feet of gross floor area, or in this case 28 stalls. ($7,280 \text{ SF} / 1,000 \times 4.5 = 32.76$ stalls). The proposed building will have room for 3 tenants, however they may not all be retail based and instead may have a professional office use or two. Retail uses require more parking than professional office uses, so staff wanted to error on the side of caution by calling the entire building a retail use for parking purposes. Although the entire development may utilize one large parking lot, the developer may in the future divide the buildings onto their own lot. The plan indicates that, if divided, 34 parking stalls would be maintained on the site. **Parking requirements are satisfied for this use.**
- 4) Open Space: Open green space must be provided on site. The ordinance requires 10% of the total development site excluding the required setback area. In this case the lot contains approximately 9 acres of land (400,000 ft²). When the perimeter setbacks are excluded (20-foot minimum), approximately 61,000 square feet can be deducted from the total: $400,000 - 61,000 = 339,000 \times 0.10 = 33,900$ square feet open green space must be provided on site. The property has approximately 298,103 square feet of open space remaining, which far exceeds the minimum open space requirement. **Open green space satisfied.**

- 5) Landscaping: The PC-2 District requires landscape plantings at the rate of 0.02 points per square foot of the total development site excluding the setback areas described above ($0.02 \times 339,000 \text{ ft}^2$) = **6,780 basic site landscaping points**. These points can be made up with any combination of trees, conifers and shrubbery and distributed throughout the site, parking areas and along the street. To calculate the number of street tree points, the formula is 0.75 points per linear foot of street frontage. In this case, the frontage along Viking Road for this parcel is 220 feet. This would equate to 165 street tree points. The plan for this portion of the development shows 9 street trees, with a total of 360 points.

In addition to these points, landscaping must also be provided to satisfy “parking lot landscaping.” The parking lot calculation must be “added” to the “site/street tree landscaping” number (6,780) to arrive at a total landscaping requirement for the property. The **parking area** landscaping requirement is one tree for every 15 parking stalls or 2,500 square feet of hard surface parking area. If the one tree for every 15 stalls ratio is applied, the total tree planting for this portion of the parking lot would be $34/15 \text{ stalls} = 3 \text{ trees}$. The plan for this portion of the development shows 8 parking lot trees.

A landscaping plan for the overall site was submitted when the gymnasium building went through the site plan review process. All requirements were met at that time. For this portion of the development, the landscaping plan appears to be similar to what was submitted for the overall development and for the completed outbuilding #3, with trees located along the street, trees within the parking lot, and trees located around the building. **Landscape Plan is acceptable.**

- 6) Sidewalks: A Sidewalk is identified along the Viking Road street frontage. A sidewalk is also shown that connects this building and the other proposed building adjacent to the south to the public sidewalk along Viking Road. A sidewalk was also shown connecting Outbuilding #3 which was recently completed, to the sidewalk along Viking Road. With this site plan approval, both buildings along the Viking Road street frontage will be complete, so the sidewalk along Viking Road and the sidewalks that lead to both buildings will need to be installed. **Sidewalk plan is acceptable, and will be installed in conjunction with the construction of this building.**

- 7) Building Design: The proposed building will be constructed with a mixture of rock faced block (gray), Cumaru wood shiplap siding, glass windows and doors, and two tones of corrugated metal paneling (silver and charcoal). Wall signage will also be located above each doorway. This building design is very similar to Outbuilding #3, which was completed earlier this year. **Overall Building Design is acceptable.**

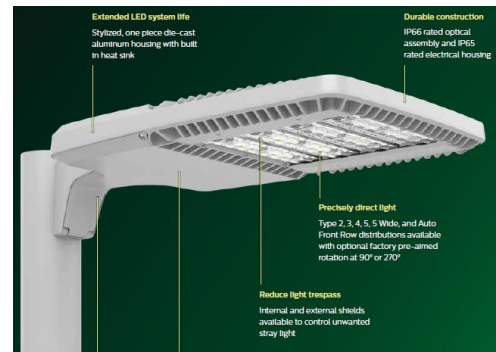


Front Design of Building

- 8) Trash Dumpsters: The dumpster enclosure will be located closer to the gymnasium building to the south. A dumpster enclosure plan was submitted when the gymnasium building was proposed that included a 6' split face block wall with a slated gate for access. **Dumpster enclosure plan is acceptable.**

9) Storm Water Management: There are two underground storm water collection areas located under the parking lot in front of Outbuilding #1 and Outbuilding #3. These detention basins release the water into the storm sewer located along Viking Road. Also, there is a storm water detention area located to the southwest of the gymnasium building. Water from around the gymnasium building and areas south of the gymnasium building will go to this detention pond. This overall storm water management plan was reviewed and approved by the Engineering Division during the site plan review of the gymnasium building in 2016.

10) Lighting Plan: While not required by the PC-2 District requirements, a general lighting plan has been submitted and appears to be satisfactory. The applicant has provided information showing the location of 9 proposed light poles to be installed in front of the building and within the parking lot. The lighting fixtures will consist of LED die-cast aluminum box downlights.



11) Signage: The PC-2 District permits wall signs to cover 20% of the surface area of any one wall space. However, no more than two wall faces can be utilized for signage in the PC-2 District. Wall signage is identified on the front side of the building over each tenant space entry. One main freestanding entrance sign is allowed adjacent to the adjoining major thoroughfare. Said sign shall not exceed 20 feet in height and 200 square feet in area. A freestanding entrance sign was shown on the original site plan submittal for the gymnasium building. **Signage requirements appear to be met, but will be verified at the time of sign permit application.**

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, have few comments on the proposed site plan. All basic utility services are available to the site. The developer is required to provide all utility services to the building and must coordinate those improvements with CFU personnel.

As a condition of approving the occupancy permit for Outbuilding #3 in June of 2018, the developer was to provide a lighting plan to the City, as the parking lot did not have any lighting at the time. The developer has installed 2 light poles on the site to provide lighting to the premises to ensure the safe entrance and exit to the property by the public.

The City Engineering Division has had comments regarding their Storm Water Pollution Prevention Plan (SWPPP) for the site. A number of deficiencies were noted by City staff during several site visits over the past several months. However, those items have been addressed by the developer. The developer and contractor for the site will need to address any changes that occur as construction continues on the site with continued maintenance, weekly inspections, seeding during appropriate times, and use of SWPPP approved stabilization techniques. In the future, the City will require that the developer obtain an individual SWPPP permit for each of the remaining buildings on the site prior to construction to help maintain control of the site during the duration of the remaining construction on the site.

Also, when the sanitary sewer service was extended to this site from the existing sanitary sewer main located on the City-owned property to the west (Prairie Lakes Park), an easement for the private line that is located on City property was never established. That easement agreement

has been drafted and reviewed by City Attorney Kevin Rogers, and will be proceeding to City Council for approval.

STAFF RECOMMENDATION

The introduction of this site plan is for discussion and public comment purposes. If the P&Z Commission is comfortable with the submitted site plan, it is their decision on whether to forward for additional P&Z Commission review on 12/12 or to approve the site plan on 11/28. The Community Development Department has reviewed this site plan and would recommend approval, subject to the following comments:

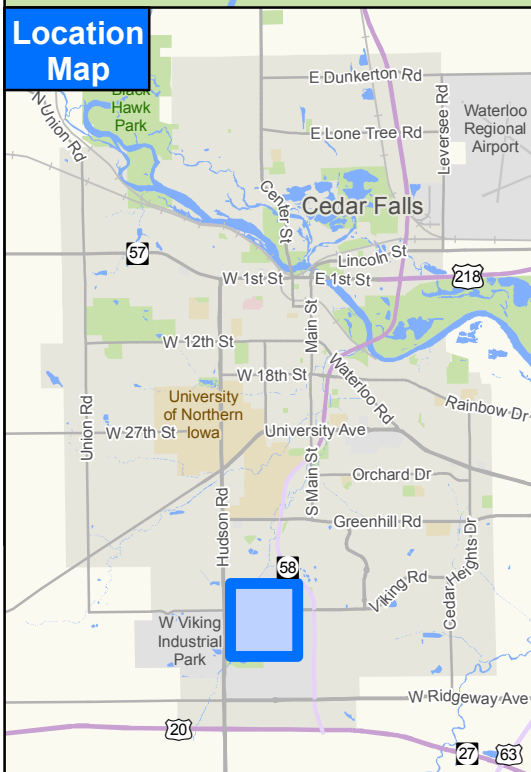
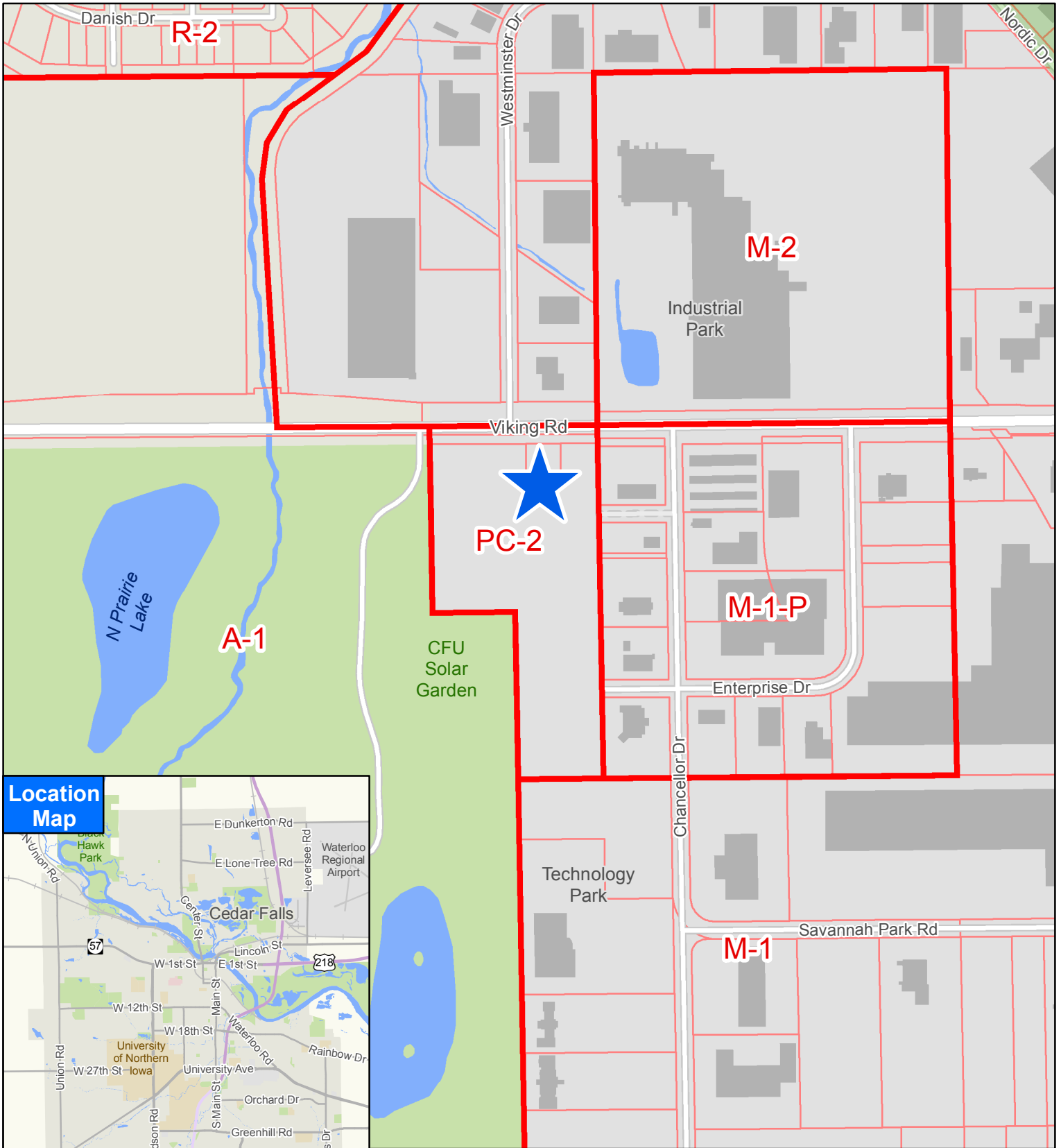
- 1) Any comments or direction specified by the Planning & Zoning Commission.

PLANNING & ZONING COMMISSION

Discussion/Vote

11/28/2018

Cedar Falls Planning & Zoning Commission
November 28, 2018



936 Viking Road - PC-2 District
Site Plan Review

TRAFFIC CONTROL NOTES

1. ALL TRAFFIC CONTROL DEVICES & BARRIERS SHALL BE FURNISHED, ERECTED, MAINTAINED, & REMOVED BY THE CONTRACTOR.
2. PROPOSED CHANGES TO THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED WITH THE ENGINEER BEFORE CHANGES ARE MADE.

GENERAL LAYOUT NOTES:

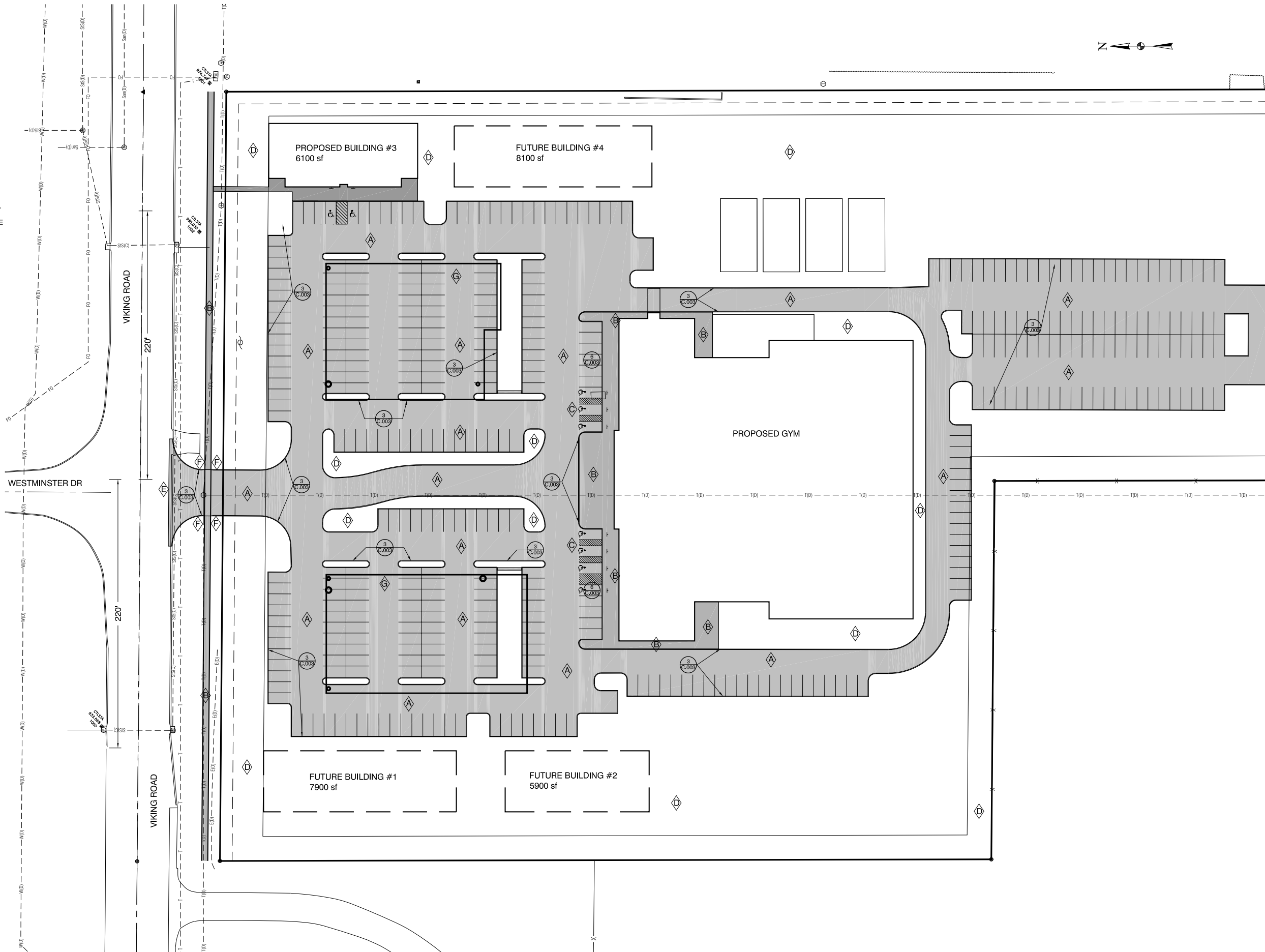
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
3. SIGHT LIGHTING SHALL BE DETERMINED BY THE OWNER.
4. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED & MULCHED UNLESS OTHERWISE NOTED IN PLANS, REFER TO LANDSCAPING PLAN.
5. ANY DAMAGE TO THE PAVEMENT NOT SHOWN FOR REMOVAL ON THE PLANS DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT.
6. COORDINATE GAS, ELECTRIC, TELEPHONE, & FIBER OPTIC WITH RESPECTIVE UTILITY COMPANIES.
7. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

CONSTRUCTION DETAILS

- 3
C.003 6" STANDARD INTEGRAL PCC CURB & GUTTER
- 6
C.003 STRAIGHT FACED CLASS A SIDEWALK

KEY CONSTRUCTION NOTES

- A INSTALL 6" PCC PAVEMENT SECTION IN PARKING & DRIVE AREAS. REFER TO DETAIL 1 ON C.503.
- B INSTALL PCC SIDEWALK SECTION. REFER TO DETAIL 2 ON C.503.
- C INSTALL HANDICAPPED PAVEMENT MARKING & "RESERVED PARKING" SIGN PER STATE OF IOWA CODE.
- D PLANTED AREA.
- E INSTALL DRIVEWAY DROP CURB, REFER TO DETAIL 3 ON C.003.
- F INSTALL CURB RUNOUT, REFER TO DETAIL 3 ON C.003.
- G UNDERGROUND DETENTION AREA



J:\5582\wg\Sheets\C.200 (Layout).dwg - C.200 - 09-14-17 - 3:55pm - bjc33



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

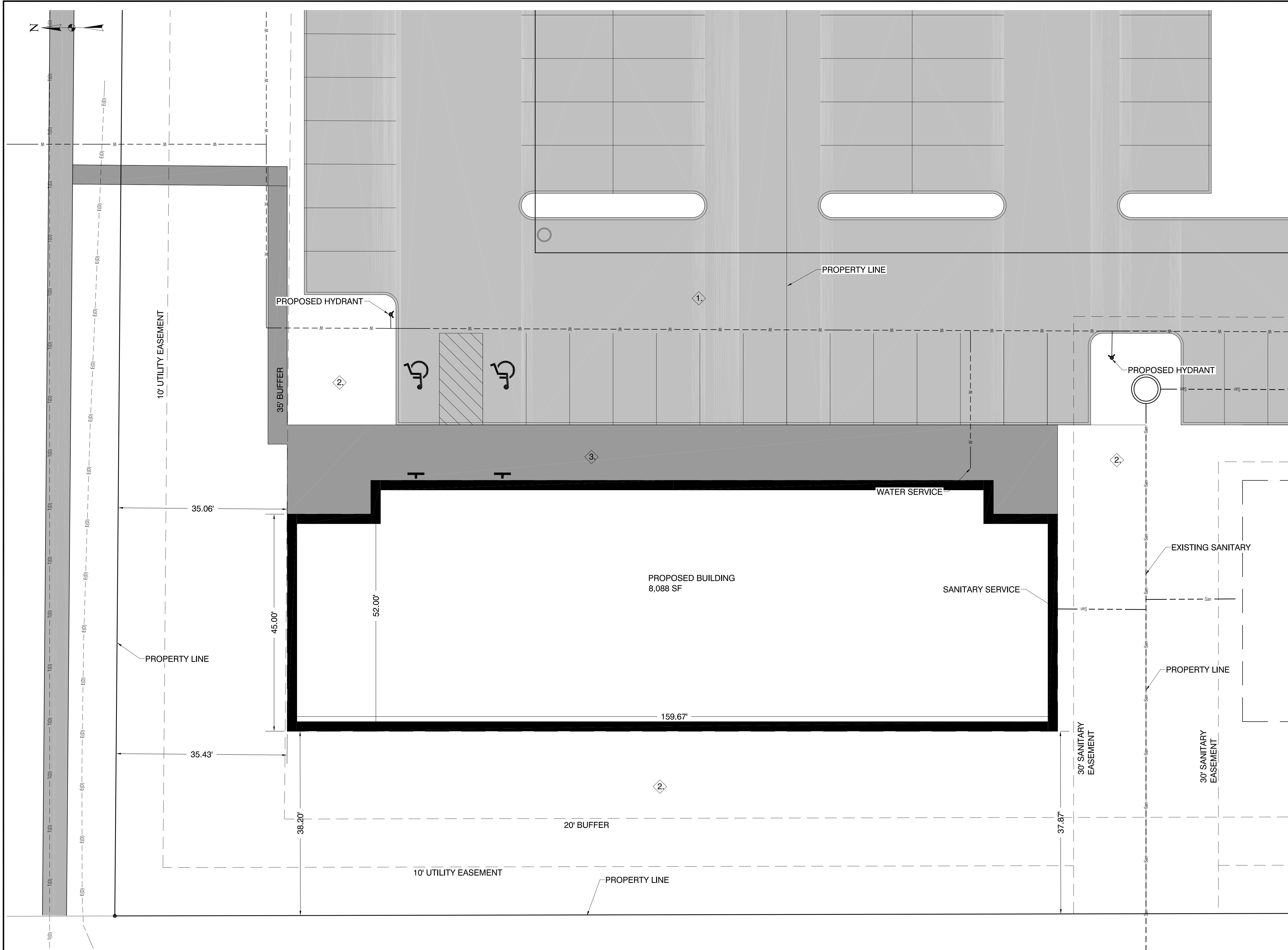
CGA Clapsaddle-Garber Associates, Inc.
 16 East Main Street
 Marshalltown, Iowa 50158
 Ph 641-754-4701
 www.cgaconsultants.com

DESIGNED: _____ DATE: _____
 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

924 22 VIKING ROAD
 CEDAR FALLS, IOWA

OVERALL LAYOUT PLAN

PROJECT NO. 5582
 SHEET NO. C.200



OWNER OF RECORD:
HI YIELD, LLC

DATE OF PREPARATION:
6-9-2017

APPLICANT INFORMATION
DAHLSTROM REAL ESTATE
604 CLAY STRET
CEDAR FALLS IOWA 50613
CONTACT: R. WAYNE WILLIAMSON, AIA (319-939-3846)

DEVELOPER INFORMATION
HI YIELD, LLC
604 CLAY ST.
CEDAR FALLS, IOWA 50613
CONTACT: CORY HENKE (319-640-0182)

ZONE INFORMATION:
DISTRICT: PC-2

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT YARD:	25'	35'
SIDE YARDS:	10'	28'

PARKING INFORMATION:

	PROVIDED	REQUIRED
ABOVE GROUND:	34	34
HANDICAP ACCESSIBLE	2	2
TOTAL:	34	34

- LEGEND**
- 1 PCC
 - 2 LANDSCAPING
 - 3 SIDEWALK

BUILDING INFORMATION

AREA: 8,088 SF
HEIGHT: 22'

PROPOSED EASMENTS
PROPOSED EASEMENTS FOR 8" WATERMAIN AND 8" SANITARY SEWER WILL BE PRESENT ON THE SITE.

STORMWATER MANAGEMENT

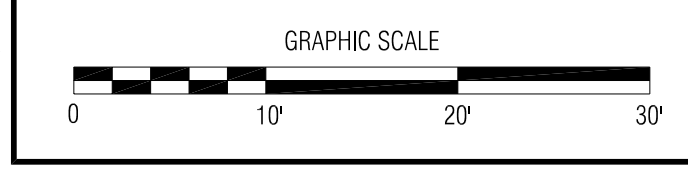
STORMWATER MANAGEMENT TO BE PROVIDED BY DETENTION FACILITIES PLANNED FOR THE ENTIRE VIKING ROAD SITE. A STORMWATER REPORT WAS PREVIOUSLY SUBMITTED FOR THE 924 VIKING ROAD PROJECT.

SIGHT TRIANGLES

SIGHT TRIANGLES WERE DEVELOPED USING A 45 MPH DESIGN SPEED. THE TRIANGLES CAN BE FOUND ON THE INCLUDED GRADING SHEET.

FLOODPLAIN

NO FLOODPLAIN PRESENT PER FEMA PANEL 19013C0277F EFF. 7/18/2011



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

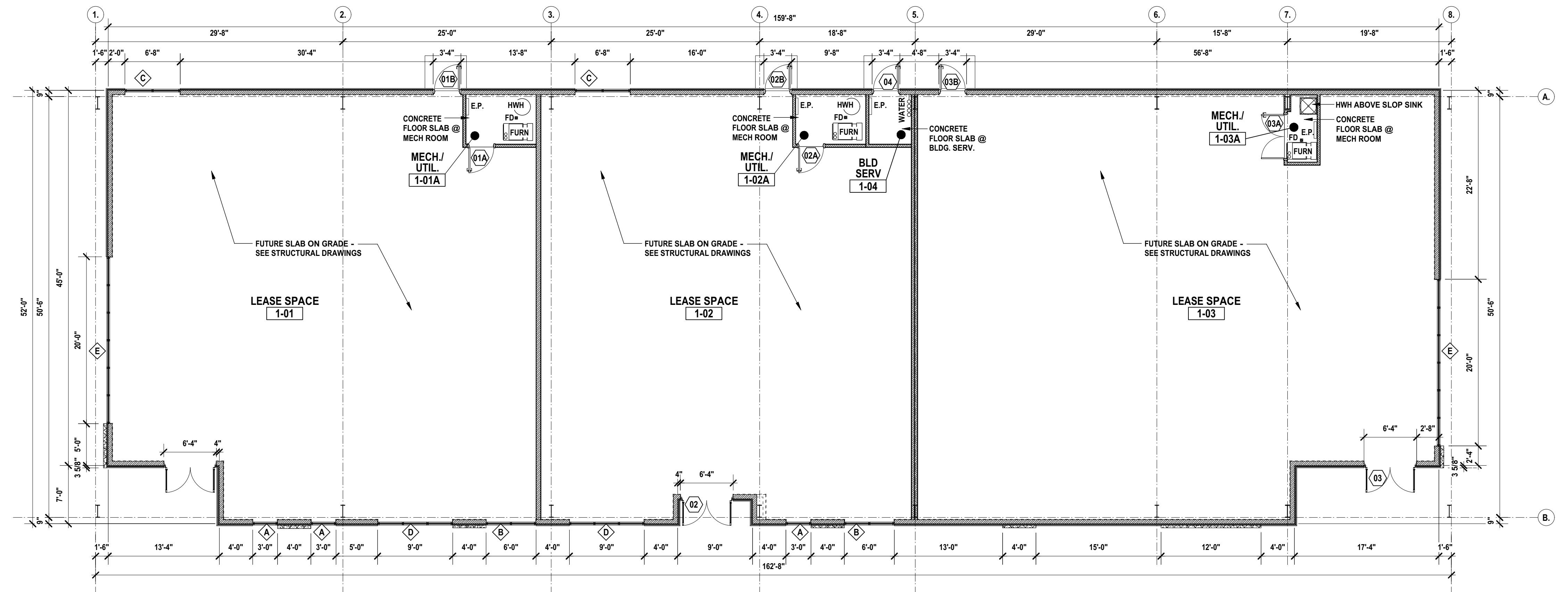
CGA Clapsaddle-Garber Associates, Inc.
16 East Main Street
Marshalltown, Iowa 50158
Ph 641-752-4701
www.cgaconsultants.com

DESIGNED: _____ DATE: _____
DRAWN: _____ DATE: _____
CHECKED: _____ DATE: _____
APPROVED: _____ DATE: _____

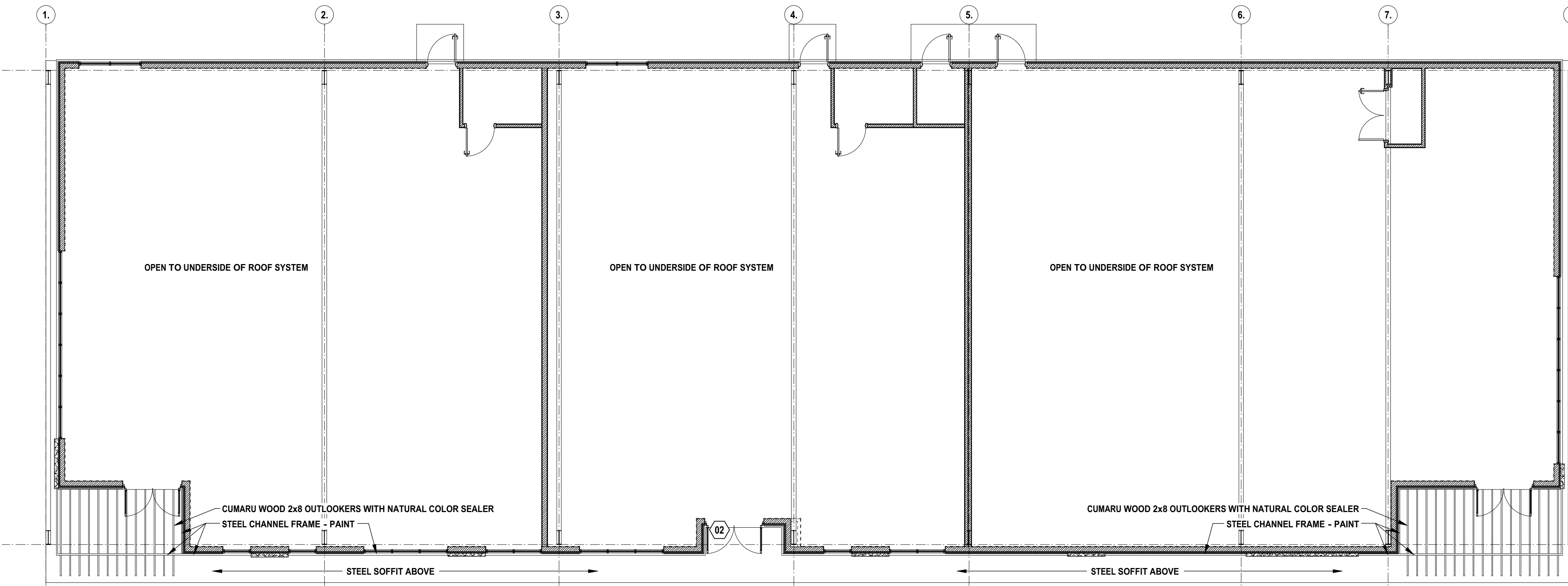
924 VIKING ROAD
CEDAR FALLS, IOWA

LAYOUT PLAN

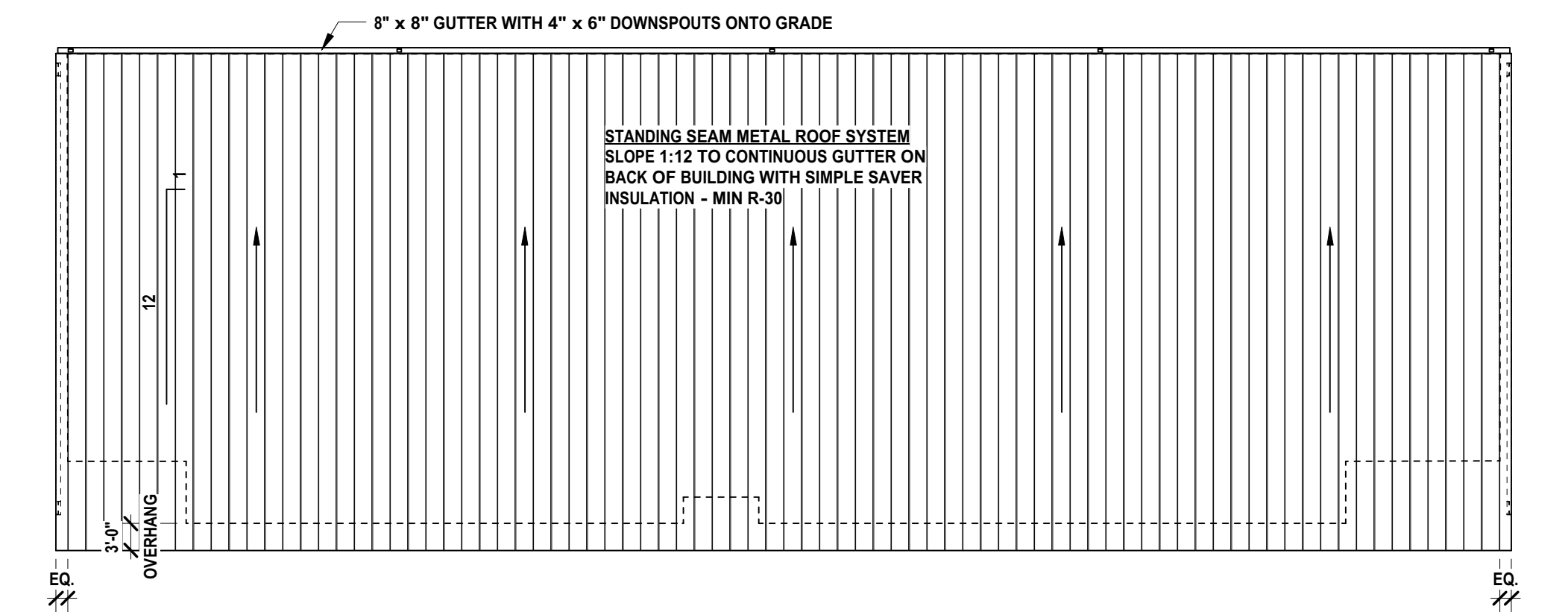
PROJECT NO. 5582
SHEET NO. C.200



4 SHELL FLOOR PLAN
Scale: 1/8" = 1'-0"



2 REFLECTED CEILING PLAN
Scale: 1/8" = 1'-0"



3 ROOF PLAN
Scale: 1/16" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS ETC. PRIOR TO ANY CONSTRUCTION AND SHALL MAKE ANY 'MINOR' REVISIONS NECESSARY AS FIELD CONDITIONS, PERMIT, PROVIDED THE INTENDED PURPOSE OF THE ENTIRE PROJECT AND THE FINAL OUTCOME ARE RETAINED.
- PRIOR TO SUBMITTING PROPOSALS, BIDDERS SHALL EXAMINE DRAWINGS AND SPECIFICATIONS ON DRAWINGS, MAKE PERSONAL EXAMINATION OF THE SITE AND INFORM THEMSELVES FULLY AS TO ALL EXISTING CONDITIONS AND LIMITATIONS AFFECTING THE WORK AND THEIR PROPOSAL THEREFORE.
- PROJECT SHALL MEET ALL LOCAL CODES, 2015 IBC, 2015 IFC, 2012 IECC, 2015 IMC, 2015 UPC AND THE 2014 NEC, AND ALL AMENDMENTS TO CODES ADOPTED BY AUTHORITY HAVING JURISDICTION.
- PERMITS SHALL BE OBTAINED FROM LOCAL GOVERNING AUTHORITY FOR ALL CONSTRUCTION WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE REQUIRED TYPE AND NUMBER OF INSPECTIONS AND SHALL NOTIFY OFFICIALS WELL IN ADVANCE OF ALL SUCH INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS AND TECHNIQUES OR PROCEDURES AND FOR ALL SAFETY PRECAUTIONS USED ON SITE.
- THE PLANS ARE FOR GENERAL INFORMATION ONLY. ALL CONTRACTORS SHALL FIELD CHECK ALL DIMENSIONS, LOCATIONS, AND CONDITIONS, ETC. IN THEIR SCOPE OF WORK
- DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS AS SHOWN ON PLANS.
- ANY MATERIAL OR LABOR NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED BUT NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL CONTRACTORS SHALL FOLLOW THE MATERIAL OR EQUIPMENT RECOMMENDED SPECIFICATIONS, UNLESS NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS AND WORKMAN LIKE MANNER.
- THE OWNER'S REPRESENTATIVE SHALL REVIEW AND APPROVE ALL FINISH MATERIALS INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., PRIOR TO COMMENCEMENT OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE PROOF OF HIS LIABILITY INSURANCE TO THE OWNER, PRIOR TO COMMENCEMENT OF THE WORK.
- THE OWNER SHALL PROVIDE PROPERTY INSURANCE AND ALL RISK INSURANCE COVERING THE ENTIRE PROJECT SCOPE.

THERMAL & MOISTURE PROTECTION

- THERMAL BUILDING INSULATION AT ASSEMBLIES TO EXTERIOR OR UNHEATED SPACES MEETING THE REQUIREMENTS OF GOVERNING CODES AND UNO, THE FOLLOWING MINIMUM REQUIREMENTS.
- EXTERIOR FRAME WALLS: R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING. IF STRUCTURAL SHEATHING COVERS 25 PERCENT OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE STRUCTURAL SHEATHING IS USED. IF STRUCTURAL SHEATHING COVERS MORE THAN 25 PERCENT OF EXTERIOR, STRUCTURAL SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R-2.
- ROOF: R-30 MINIMUM.
- FLASHING SHEET METAL AS REQUIRED TO PREVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING. IN ADDITION TO COMPLYING WITH THE PERTINENT RECOMMENDATION CONTAINED IN THE CURRENT EDITION OF ARCHITECTURAL SHEET METAL MANUAL BY SMACNA. ALL IRON SHEET METAL FLASHING SHALL BE HOT-DIPPED GALVANIZED COMPLYING WITH ASTM A93.
- GUTTER AND DOWNSPOUT SHALL BE DETERMINED BY THE GENERAL CONTRACTOR AND APPROVED BY THE OWNER SO AS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE. AT EACH DOWNSPOUT EXITING ON GRADE, CONTRACTOR SHALL PROVIDE AND INSTALL A SPLASH BLOCK OF SUFFICIENT SIZE TO PREVENT ANY DAMAGE TO SURROUNDING SURFACES.

GYPSUM BOARD ASSEMBLIES

- DESCRIPTION OF WORK: EXTENT OF GYPSUM BOARD ASSEMBLIES IS SHOWN ON DRAWINGS. THE WORK INCLUDES, BUT IS NOT LIMITED TO INTERIOR FINISH OF NEW EXTERIOR WALLS AND NEW INTERIOR PARTITIONS.
- STANDARDS: COMPLY WITH THE APPROPRIATE ASTM REQUIREMENTS THAT APPLY TO FRAMING INSTALLATION AND WITH UNITED STATES GYPSUM'S "GYPSUM CONSTRUCTION HANDBOOK".
ASTM C36 - GYPSUM BOARD, ASTM C840 AND GA-216 FINISHES
ASTM C 1047 - TRIM ACCESSORIES
ASTM C 475 - JOINT TREATMENT MATERIAL
ASTM C 665 - SOUND ATTENUATING BATT INSULATION (UNFACED)
- EMPLOY ONLY TRADESMAN EXPERIENCED IN FABRICATION AND INSTALLATION OF THIS SECTION.
- MATERIALS:
METAL STUDS:
EXTERIOR WALLS: 6", MINIMUM 16 GAUGE @ 16" O.C.
INTERIOR PARTITIONS 3 5/8", MINIMUM 25 GAUGE @ 16" O.C.
GYPSUM WALL BOARD: 5/8" THICK TYPE "X" AT ALL GALVANIZED OR ALUMINUM-COATED STEEL SHEET CORNERBEAD AT OUTSIDE CORNERS.
JOINT TAPE
JOINT COMPOUND
- FINISHING:
PROVIDE LEVEL 2 FINISH: EMBED TAPE AND APPLY SEPERATE FIRST AND FILL COATS OF JOINT COMPOUND TO TAPE, FATENERS, AND TRIM FLANGES.
ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS.

ALUMINUM STOREFRONT SYSTEM

- DESCRIPTION OF WORK: EXTENT OF ALUMINUM STOREFRONT FRAMING ASSEMBLIES IS SHOWN ON DRAWINGS.
THE WORK INCLUDES BUT IS NOT LIMITED TO EXTERIOR STOREFRONT SYSTEMS EQUAL TO KAWNEER TRI-FAB 451T.
- STANDARDS: COMPLY WITH THE APPROPRIATE ASTM REQUIREMENTS THAT APPLY TO ALUMINUM STOREFRONT INSTALLATION.
ASTM E 330 - STRUCTURAL TESTING
ASTM E 283 - AIR INFILTRATION
ASTM E 331 - WATER PENETRATION
NFRC 100 - THERMAL TRANSMITTANCE
ADA 2010 - RAIL SIZE
- EMPLOY ONLY TRADESMEN EXPERIENCED IN FABRICATION AND INSTALLATION OF THIS SECTION.
- MATERIALS:
ALUMINUM - ALLOY AND TEMPER RECOMMENDED BY MANUFACTURER FOR USE AND FINISH, ASTM B 209 SHEET AND ASTM B 221 EXTRUSIONS.
FRAMING MEMBERS - MANUFACTURER'S STANDARD EXTRUDED ALUMINUM FRAMING MEMBERS OF THICKNESS REQUIRED AND REINFORCED AS REQUIRED TO SUPPORT IMPOSED LOADS.
CONSTRUCTION - THERMALLY BROKEN FRAMING MEMBERS
DOORS - 4 3/4" THICK GLAZED DOORS WITH MINIMUM 0.125" THICK EXTRUDED ALUMINUM TUBULAR RAIL & STILE MEMBERS, MECHANICALLY FASTEN CORNERS WITH REINFORCING. MEDIUM THICKNESS STILES AN TOP RAIL WITH MINIMUM 10" BOTTOM RAIL.
- FINISH: CLEAR ANODIZED ALUMINUM

METAL DOORS

- CONSTRUCTION:
18 GA. COLD ROLLED, STRETCHER LEVELED, BONDERIZED STEEL SURFACE PANELS REINFORCED AND STIFFENED WITH HONEYCOMB CORE.
16 GA. STILES, AND TOP & BOTTOM RAILS, WELDED TO SURFACE SHEETS AT MAXIMUM 2" O.C.
STEEL REINFORCEMENT OF MINIMUM 18 GA. FOR HINGES, MINIMUM 12 GA. FOR CLOSERS, AND MINIMUM 14 GA. FOR HARDWARE.
MEMBERS SHALL BE WELL FORMED, SQUARE, FLAT, IN TRUE ALIGNMENT AND SHALL BE REINFORCED FOR ALL HARDWARE.
 - UNITS SHALL BE EQUAL TO STEELCRAFT MANUFACTURING 'L' SERIES.
- GLAZING**
- DESCRIPTION OF WORK: EXTENT OF GLAZING IS SHOWN ON DRAWINGS.
THE WORK INCLUDES BUT IS NOT LIMITED TO EXTERIOR STOREFRONT SYSTEM
 - STANDARDS: COMPLY WITH THE APPROPRIATE ASTM REQUIREMENTS THAT APPLY TO GLAZING INSTALLATION.
ASTM E 1996 - WIND BORNE DEBRIS RESISTENCE
IGMA PUBLICATION FOR INSULATING GLASS - SIGMA TM-3000 "NORTH AMERICAN GLAZING GUIDELINES FOR SEALED INSULATING GLASS UNITS FOR COMMERCIAL AND RESIDENTIAL USE."
 - EMPLOY ONLY TRADESMEN EXPERIENCED IN FABRICATION AND INSTALLATION OF THIS SECTION.
 - GLASS TYPES: 1" TINTED, LOW-E COATED INSULATED, TEMPERED GLASS
 - FINISH: LIGHT GRAY AS SELECTED BY OWNER

MECHANICAL

- INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY MECHANICAL CONTRACTOR AND SUPPLIERS.
 - ALL MECHANICAL WORK FOR THIS PROJECT SHALL BE DESIGN/BUILD IN NATURE AND THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO PROVIDE COMPLETE WORKING SYSTEMS WHICH COMPLIMENT THE INTENT OF THE PROJECT DESIGN AS SHOWN.
COMPLY WITH IRC 2015 - MECHANICAL SECTIONS, ASHRAE AND SMACNA RECOMMENDATIONS.
- ELECTRICAL**
- INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY ELECTRICAL CONTRACTOR AND SUPPLIERS.
 - ALL ELECTRICAL WORK FOR THIS PROJECT SHALL BE DESIGN/BUILD IN NATURE AND THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO PROVIDE COMPLETE WORKING SYSTEMS WHICH COMPLIMENT THE INTENT OF THE PROJECT DESIGN AS SHOWN.
COMPLY WITH IRC 2015 - ELECTRICAL SECTIONS, LOCAL CODES, AND PLUMBING.
 - INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY PLUMBING CONTRACTOR AND SUPPLIERS.
 - ALL PLUMBING WORK FOR THIS PROJECT SHALL BE DESIGN/BUILD IN NATURE AND THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO PROVIDE COMPLETE WORKING SYSTEMS WHICH COMPLIMENT THE INTENT OF THE PROJECT DESIGN AS SHOWN.
- COMPLY WITH IRC 2015 - PLUMBING SECTIONS, IOWA STATE PLUMBING CODE AND ASME RECOMMENDATIONS.

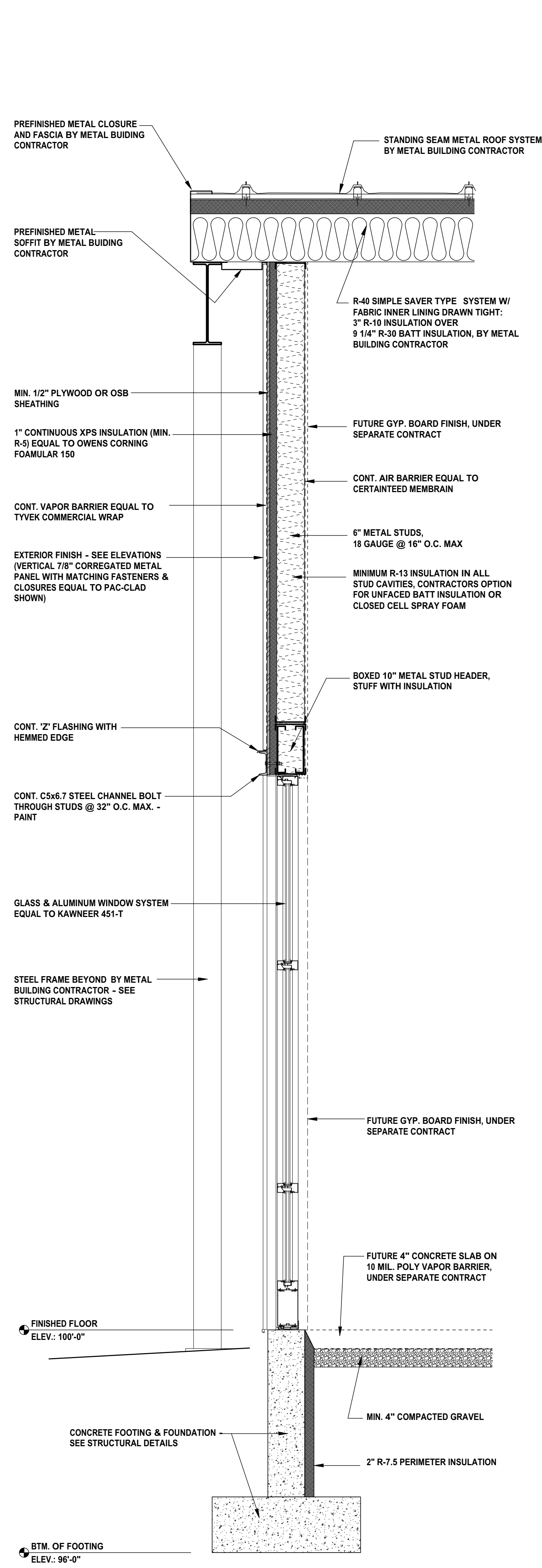
A New Facility at:
936 Viking Road
Building #1
Cedar Falls, IA 50613

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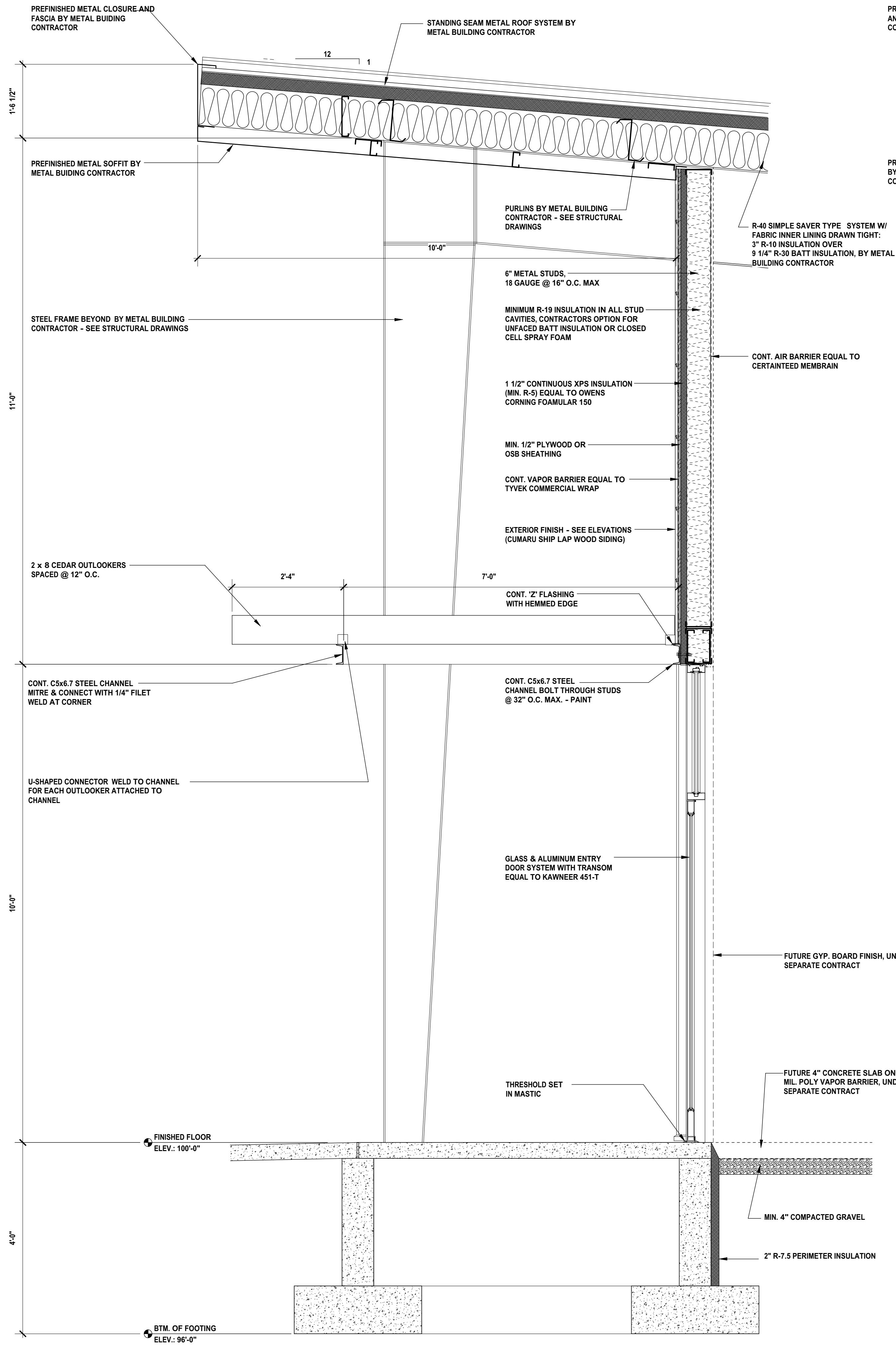
DK Management
R. Wayne Williamson, Architect
604 Clay Street, Cedar Falls, IA 50613 319-768-7235

Date	Description of Revision

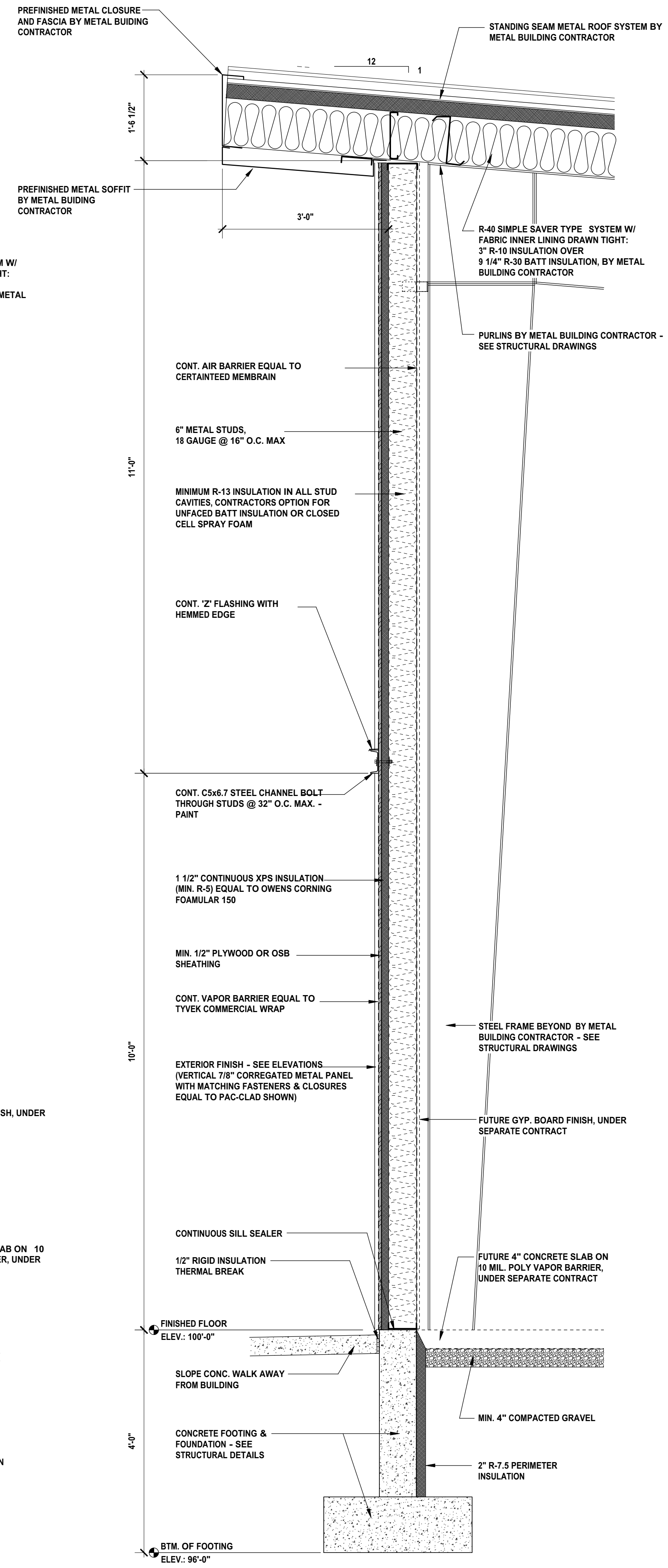
Project Number 018019	
CAD File Name Building 1 Plan	
Drawn By RWW	Checked By RWW
Sheet Name FLOOR PLAN	
Sheet Number A2	
Copyright R. Wayne Williamson, AIA	
Date: 7/2/18	



1 WALL SECTION
Scale: 3/4" = 1'-0"



2 WALL SECTION
Scale: 3/4" = 1'-0"



3 WALL SECTION
Scale: 3/4" = 1'-0"

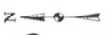
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DK Management
R. Wayne Williamson, Architect
604 Clay Street, Cedar Falls, IA 50613 319-768-7235

Date	Description of Revision

Project Number	018019
CAD File Name	Building 1 Plan
Drawn By	Checked By
RWW	RWW
Sheet Name	WALL SECTIONS
Sheet Number	A4
Copyright R. Wayne Williamson, AIA	
Date:	7/2/18



3- Shademaster Locust

7- Clump River Birch

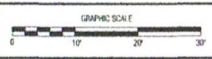
12- Black Hills Spruce

12- Spring Snow Crabs

5- Prairie Fire Crabs



21-530-0000 (24hr) Building Site Prep/LS&E - 10/10/2010 Landscape Plan - 10/10/2010 - 10/10/2010



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

CGA Clayton & Clatter Associates, Inc.
 10 East Main Street
 Marshalltown, Iowa 50158
 Ph: 641-752-6791
 www.cgaconsultants.com

DESIGNED: _____ DATE: _____
 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

924 VIKING ROAD
 CEDAR FALLS, IOWA

LANDSCAPING PLAN

PROJECT NO. 5582
 SHEET NO. C.202



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning & Zoning Commission
FROM: David Sturch, Planner III
DATE: November 20, 2018
SUBJECT: College Hill Neighborhood Site Plan Review – 2119 College Street

REQUEST: Request to approve a College Hill Neighborhood District Site Plan Review for a new multi-use building at 2119 College Street.

PETITIONER: Slingshot Architecture

LOCATION: 2119 College Street, 925 W 22nd Street, and 1003 W 22nd Street

PROPOSAL

It is proposed to demolish the existing multi-family dwellings currently located at 2119 College Street and 1003 W 22nd Street, in order to construct a new 5-story mixed-use building, which will include a commercial retail space on the first floor and 31 residential units on the second through fifth floors.



Building view from corner of College Street and W 22nd Street.

BACKGROUND

The two multi-family dwellings on the property (2119 College and 1003 W. 22nd) were constructed in 1900. The commercial property at 925 W. 22nd Street was demolished earlier this year. The developer has owned the multi-family dwellings since 2016, and the commercial building since 2012. The two remaining multi-unit residential buildings will be demolished and a new 5-story mixed-use building will be constructed in its place. In the last year, the Planning & Zoning Commission has considered two other development proposals for this site, but neither was approved. This is a new submittal for a mixed-use building at 2119 College Street with a parking lot at 925 and 1003 W. 22nd Street.

ANALYSIS

The property is zoned C-3, High Density Commercial District and is located within the College Hill Neighborhood Overlay District. Projects within this district require a site plan review by the Planning & Zoning Commission and City Council, based on the following elements:

- 1) Proposed Use: The proposed building is designed with commercial space on the main floor with four upper floors containing 31 residential dwelling units with a total of 47 bedrooms. A principal commercial use with residential dwellings located on the upper floors is allowed in the C-3 District and College Hill Neighborhood Overlay District, subject to site plan approval by the Planning & Zoning Commission and City Council. **Principal commercial use with residential uses on upper floors is allowed.**
- 2) Building and Parking Lot Setbacks: The property is zoned C-3 Commercial District. Principal commercial uses within this district are not required to be setback from the property lines. The site plan shows the building having a varied front setback from College Street, with the closest façade being 5 feet from the front property line. A 6-foot building setback is proposed from the north lot line and a 5-foot building setback from the south lot line. The parking lot situated along W. 22nd Street provides a 7-foot setback along all property lines. The minimum parking lot setback in the C-3 commercial district is 5 feet. **Building and parking lot setbacks are satisfied.**
- 3) Density: For a commercial building with upper floor residential, there is no residential density requirement. **This standard is not applicable.**
- 4) Parking: In the C-3 District, on-site parking is not required for the commercial component of the project. Also, the College Hill Neighborhood Overlay District states that on-site parking is not required for secondary, accessory residential uses that are located on upper floors of a principal permitted commercial use. Per Section 29-160(g)(2) secondary or accessory residential uses to be established on the upper floors of principal permitted commercial uses are allowed. On-site parking will not be required for secondary, accessory residential uses. Other than the entrance/elevator lobby for the residents located at the rear of the building, the entire main floor is designed to accommodate any principal commercial uses allowed in the C-3 District. There are no residential uses located on the main floor of the building. All residential uses are located on the upper floors of the building. Planning and zoning commission and city council review relating to the establishment of secondary or accessory residential uses shall not be required unless the property owner proposes to utilize any portion of the ground floor area of a commercial use on a property for residential purposes. While staff finds that parking is

not required for the proposed building, the developer is proposing to provide a total of 47 on-site parking spaces for 47 bedrooms in the proposed building. **Parking is not required for this use within the C-3 District, but the developer is providing 47 on-site parking spaces.**

- 5) Open Green Space: For commercial buildings in the C-3 District there are no open green space area requirements, since the goal is to encourage commercial buildings to be located close to the street to create a walkable, mainstreet character to the College Hill business district.

The provided site plan does show some open space along the north and south side of the building and around the parking lot, where grass and landscape plantings will be provided. Within the front setback area along College Street there is an outdoor plaza illustrated on the site plan as an outdoor service area. **No open green space is required, but some open space is provided on the site.**

- 6) Landscaping: The College Hill Neighborhood Overlay District requires landscaping along the periphery of the parking area and internal to the parking area.

A landscaping plan has been submitted, which shows plantings along W 22nd Street and along the periphery of the parking lot. The plans include additional landscaping in front of the building on College Street with an extra tree and grate in the sidewalk. The existing driveway into 2119 College Street will be removed and reconstructed as sidewalk area. There are also trees and plantings planned within the parking area and street trees and screening proposed along the 22nd Street frontage that will provide a buffer between the parking area and the public sidewalk. **Landscaping plan meets the requirements of the code.**

- 7) Building Design: The College Hill Neighborhood Overlay District states that the architectural character, materials, and textures of all buildings shall be compatible with those primary design elements on structures located on adjoining properties and also in consideration of said design elements commonly utilized on other nearby properties on the same block or within the immediate neighborhood. Comparable scale and character in relation to adjoining properties and other nearby properties in the immediate neighborhood shall be maintained by reviewing several design elements. These are noted below with a review on how each element is addressed.

Maintaining Similar Roof Pitch:

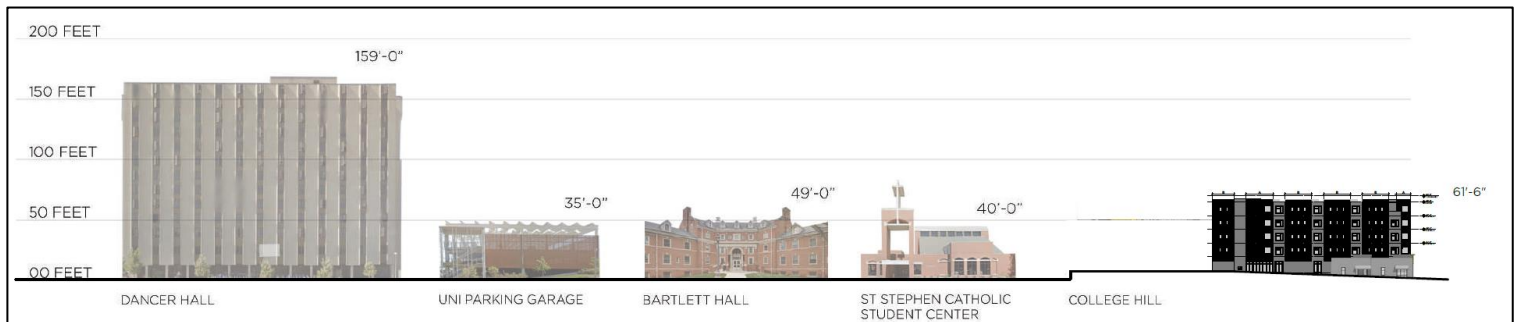
Flat roofs are used in this area. The proposed building also uses a flat roof.

Maintaining Similar Building Height, Building Scale and Building Proportion:

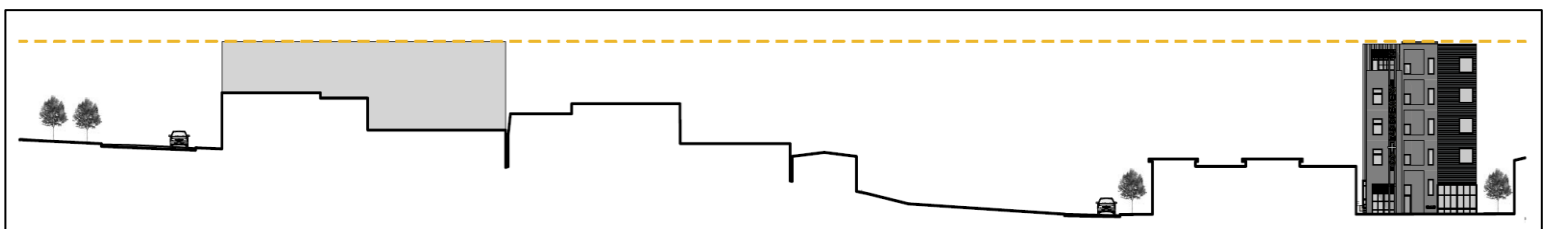
Most of the buildings in this immediate area are either one-story or two-story in height. The proposed building will be 5 stories in height, which would replace two existing two-story structures that are currently on the property. The property is zoned C-3 Commercial District, which has a building height limitation of 165 feet or three times the width of the road that the building faces. In this case College Street is 40 feet in width, meaning that the maximum building height allowed would be 120 feet (40 feet x 3). As this structure

would be 61 feet 6 inches in height, it would meet the height requirement of the Zoning Ordinance. This property is also located within the College Hill Neighborhood Overlay Zoning District. This overlay district does not have a specific height limitation for buildings, but it does call for reviewing the scale of a proposed building in relation to adjoining properties and other nearby properties within the immediate neighborhood.

The applicant has provided a diagram which shows several other buildings within a 2-3 block area that are taller than the proposed building (see attached diagram for building locations). In the diagram, it shows the proposed building with a height of approximately 62 feet. Other buildings in the area and their heights include the St. Stephen Catholic Student Center on W 23rd Street at 40 feet in height, Bartlett Hall on the UNI campus on W 23rd Street at 49 feet in height, the UNI parking garage on W 23rd Street at 35 feet in height, and Dancer Hall on Campus Street on the UNI campus at 159 feet in height. Also, the applicant has provided a side elevation diagram which shows the street section of buildings located on College Street and their height comparison to the proposed building. Based on the diagrams presented below, staff feels that the building scale and height will not be out of character for the area, as there are other structures within the neighborhood that are comparable in scale and height to the proposed building.



Building Height Comparisons



Street Section along College Street

Use of Materials Comparable and Similar to Other Buildings on Nearby Properties in the Immediate Neighborhood:

Most of the buildings in this immediate neighborhood are constructed with brick materials. The proposed building will have a more modern look, as it will be constructed with a mix of metal paneling (with a contrasting color and design), brick and glass openings. The colors include charcoal/black for the entry masses at the front and rear of the building with off-white as the metal panel along the larger north and south portions. The brick is planned to be a neutral tan/gray with brick detailing similar to the image shown at key locations. Each of the four sides of the building will have a slightly different design in relation to the amount and type of materials used. Please see the table below which

breaks down the use of materials by building side.

Side of Building	Brick	Metal Paneling	Openings
North	24%	52%	24%
South	33%	50%	17%
East (College St)	47%	30%	23%
West	32%	50%	18%



East Elevation



South Elevation

In addition to the design of the building, the overlay district looks at building scale, in that the maximum width of the front facade shall not be wider than 40 feet. If a building were to have a larger width than 40 feet, the facade of the building must be broken into modules that give the appearance of smaller, individual buildings.

Each individual module should adhere to the following guidelines, in order to give the appearance of separate, individual buildings:

1. Each module shall be no greater than 40 feet and no less than 10 feet in width.
2. Each module should have a corresponding change in roof line for the purpose of architectural identity.
3. Each module should be distinguished from the adjacent module by at least one of the following means:
 - a. Variation in material colors, types and textures
 - b. Variation in the building and/or parapet height
 - c. Variation in the architectural details such as decorative banding, reveals, stones or tile accent
 - d. Variation in window pattern
 - e. Variation in the use of balconies and recesses

The building has a width of 45 feet as viewed from College Street, but is broken into three modules, distinguished by changes in building material, wall plane, colors, and textures. The sides and rear of the building are also broken into modules with similar changes in material, color, and changes in the wall plane that helps to break up the mass of the building from all vantage points.

Staff finds that the proposed building design meets the standards.

8) Trash Dumpster Site: The site plan shows a dumpster enclosure contained within the parking area at the northwest corner of the lot. The 8'-0" tall trash enclosure is constructed with a brick wall to match the building with metal doors. The landscaping plan shows trees, shrubs and ornamental grasses along the north and west side of the enclosure. **Trash enclosure is acceptable.**

9) Lighting: The C-3 District and College Hill Neighborhood Overlay District regulations do not have specific lighting design guidelines. A lighting plan has been submitted, which details the exterior lighting to be placed along the faces of the building along College Street. This lighting will light up the faces of the building, highlighting the masonry materials without producing light spill onto other properties. The LED lighting in the parking areas will be oriented to prevent shining into the residential windows of the neighboring properties. **Lighting plan is acceptable.**



10) Signage: Wall signs are illustrated on the building renderings along the east side of the building facing College Street. These signs will indicate the name of the development. The proposed wall signs appear to be well within the District limitations of no larger than 1/3rd of the surface area of the single wall area to which the wall sign is attached, however this will be reviewed in detail at the time a sign permit is requested. **Signage is acceptable, subject to detailed review with a sign permit.**



11) Sidewalks: A minimum 5 foot paved sidewalk exists in front of the property along both College Street and W 22nd Street. The site plan shows additional pedestrian plaza area along College Street and additional decorative paving located near the entrance on the west side of the building. There is a change in grade along College Street that will need to be addressed. The staff will work with the applicant to make sure that areas are accessible and maintain a pedestrian-oriented frontage to coincide with the public sidewalk. **Sidewalk requirements are met.**

12) Bike Racks: There are 2 bike racks located on College Street next to the tree grates. These are a black powder coated rack for five bikes. Additional bike racks should be placed behind the building next to the parking lot. **Add more bike racks by the back entrance into the building.**



13) Storm Water Management: Storm water will be collected on site via an underground detention area underneath the parking lot and piped along the north side of the building to the storm sewer along College Street. City Engineering Staff has indicated that they will need to see the final details on the system once they are designed by the developer's engineer. **Stormwater requirements will need to be reviewed and approved once final design is completed.**

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, have few comments on the

proposed item. The developer will be responsible to extend all utilities to the site.

STAFF RECOMMENDATION

The Community Development Department recommends approval of the College Hill Neighborhood District Site Plan for a new mixed-use building at 2119 College Street with the following stipulation:

- 1) Any additional comments or direction specified by the Planning & Zoning Commission.
- 2) Add additional bike racks near the back entrance of the building by the parking lot.

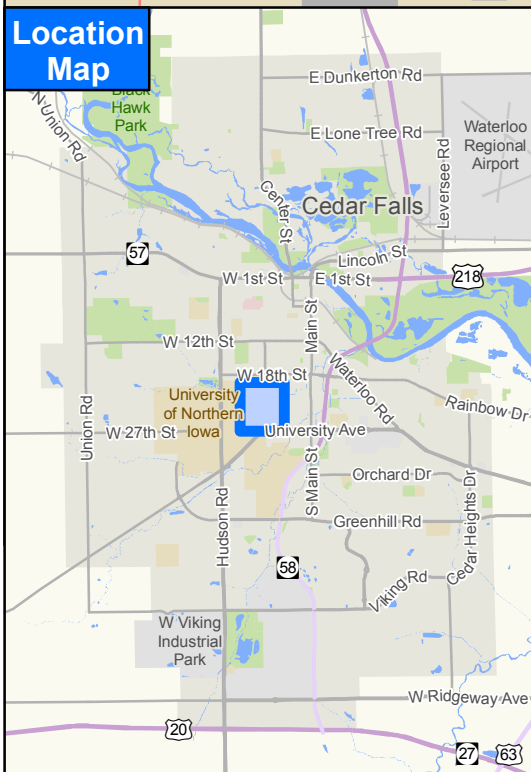
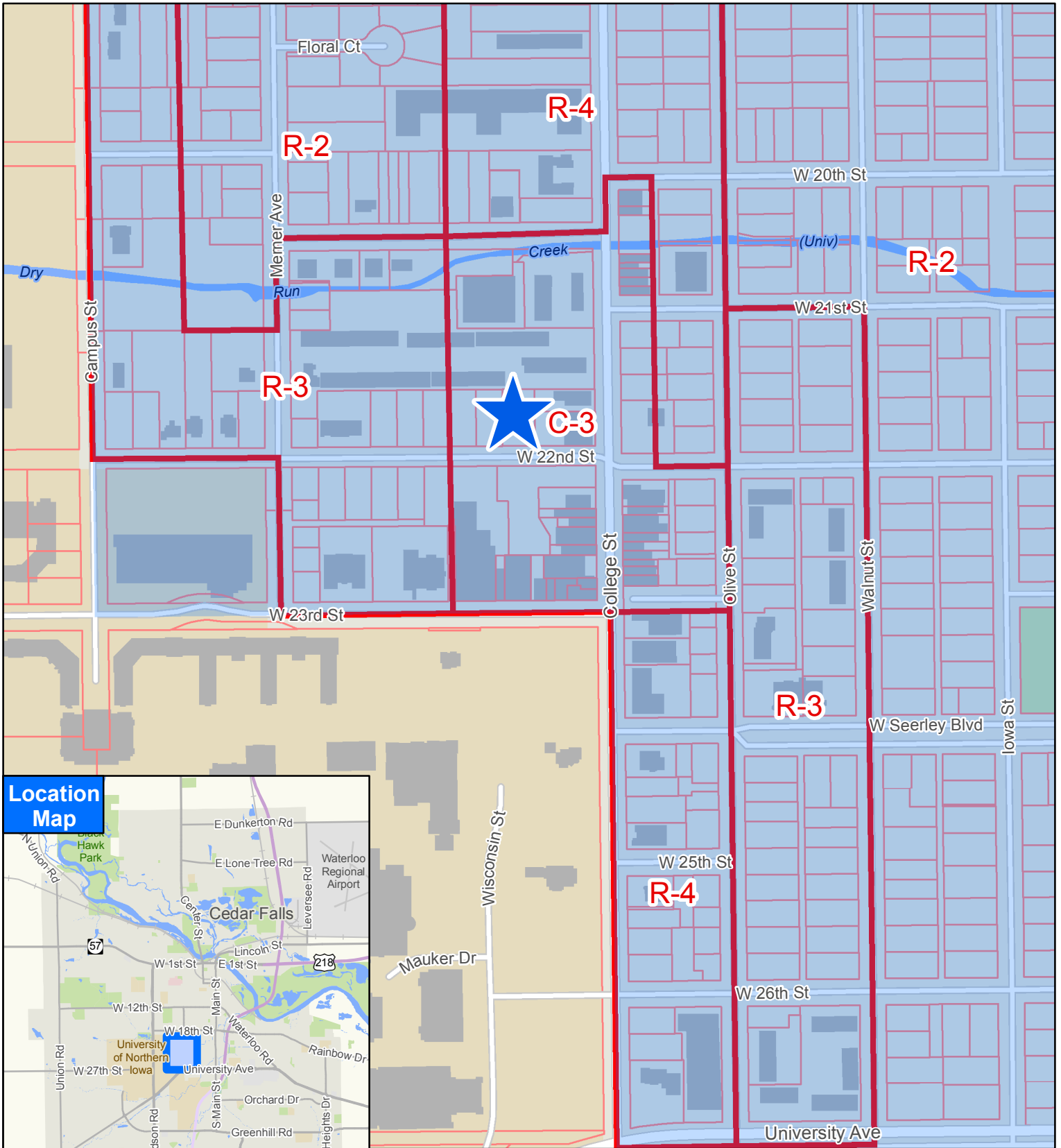
PLANNING & ZONING COMMISSION

Discussion

11-14-18

Cedar Falls Planning & Zoning Commission

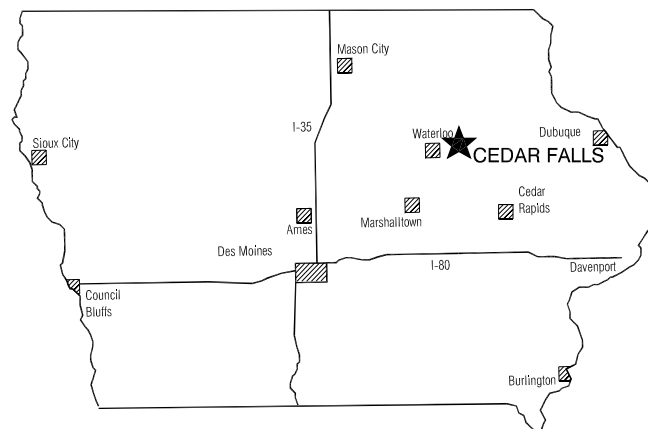
November 28, 2018



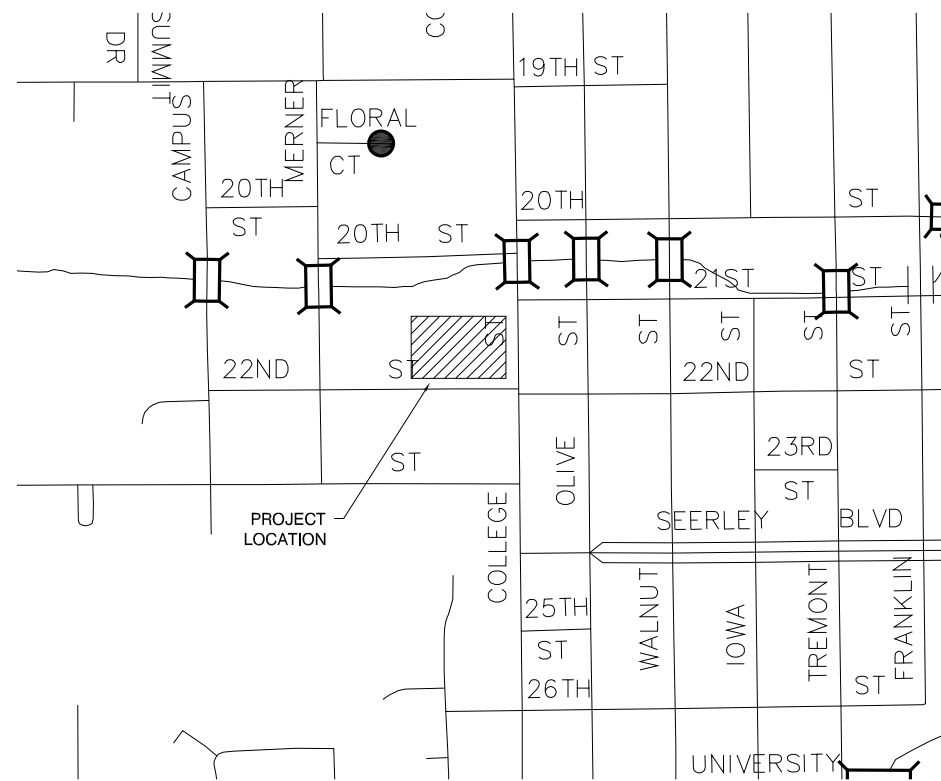
College Hill Neighborhood Overlay
District Site Plan Review

COLLEGE HILL CEDAR FALLS, IOWA

SITE PLAN SUBMITTAL



LOCATION MAP



VICINITY MAP

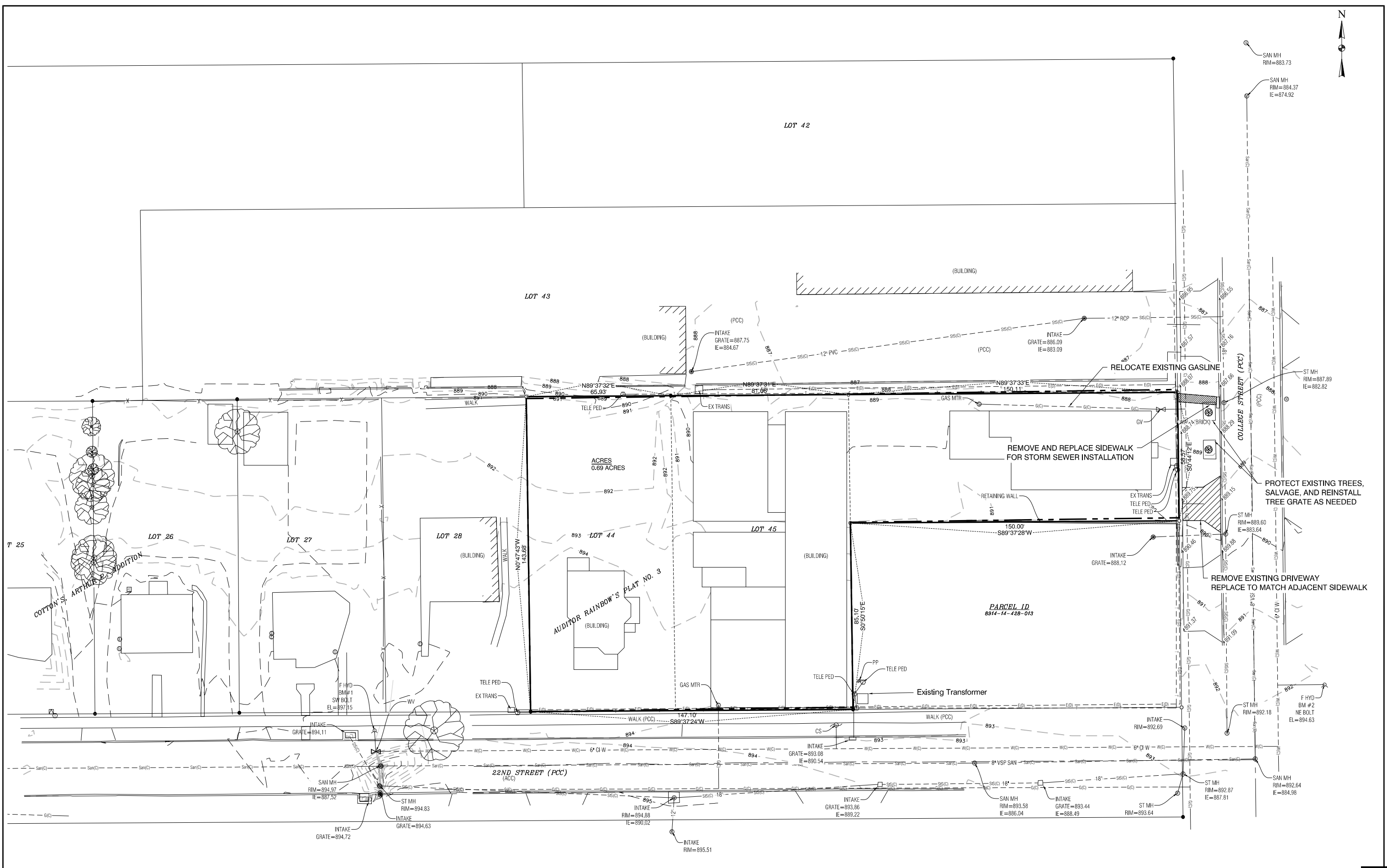
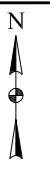
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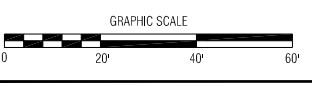
Clapsaddle-Garber Associates, Inc
16 East Main Street, P.O. Box 754
Marshalltown, Iowa 50158
Phone 641-752-6701
www.cgaconsultants.com

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C.01	TITLE SHEET
C.100	EXISTING CONDITIONS AND DEMO PLAN
C.200	LAYOUT PLAN
C.300	GRADING PLAN



J:\6627\dwg\Sheets\6627 - Existing Conditions.DWG - CGA Plan - 11-01-18 - 3:39pm - law304



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

CGA Clapsaddle-Garber Associates, Inc.
 1523 S. Bell Ave. Suite 101
 Ames, Iowa 50010
 Ph 515-233-1784
 www.cgaconsultants.com

DESIGNED: ### DATE: ###
 DRAWN: ### DATE: ###
 CHECKED: ### DATE: ###
 APPROVED: ### DATE: ###

COLLEGE HILL AND WEST 22ND
CEDAR FALLS, IOWA

EXISTING CONDITION AND DEMO PLAN

OWNER OF RECORD:

CV COMMERCIAL, LLC

DATE OF PREPARATION:

9-26-2018

APPLICANT INFORMATION

SLINGSHOT ARCHITECTURE
305 EAST COURT AVE.
DES MOINES, IOWA 50309

DEVELOPER INFORMATION

604 CLAY ST.
CEDAR FALLS, IOWA 50613
CONTACT: CORY HENKE (319-640-0182)

ZONE INFORMATION:

DISTRICT: C3 (COLLEGE HILL OVERLAY)

BUILDING SETBACKS

	REQUIRED	PROVIDED (MIN)
FRONT YARD:	0'	0'
SIDE YARDS:	5'	5'
REAR YARD:	5'	5'
LOT AREA: 0.69 AC (29,914 SF) IMPERVIOUS: 0.56 AC (24,316 SF)		

PARKING INFORMATION:

	PROVIDED
STANDARD STALLS	45
ACCESSIBLE STALLS	2

FLOODPLAIN INFORMATION:

NO FLOODPLAIN PRESENT PER FIRM PANEL #19013C0164F

LEGEND

- ① PCC
- ② LANDSCAPING

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT TO BE PROVIDED BY UNDERGROUND DETENTION

PROPERTY USE

MULTIFAMILY HOUSING AND RETAIL

SIGHT TRIANGLES

SIGHT TRIANGLE DIMENSIONS ARE BASED ON A 30 MPH DESIGN SPEED

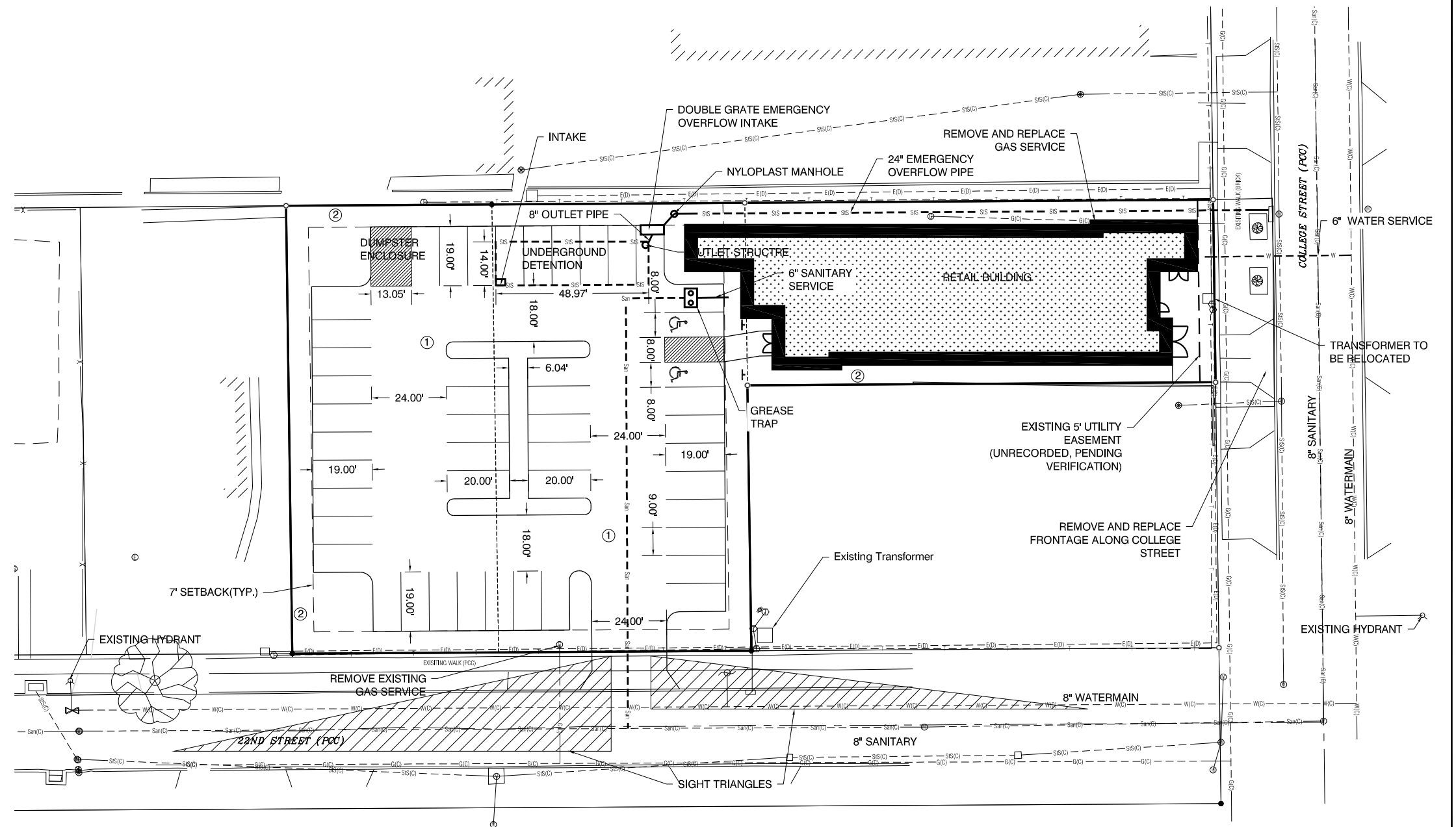
UTILITY INFORMATION

CENTURY LINK UTILITIES ARE PRESENT ON SITE. TO BE REMOVED DURING CONSTRUCTION.

EASEMENTS

NO EXISTING RECORDED EASEMENTS ARE PRESENT ON SITE.

PROVIDE 6'X6' EASEMENT FOR RELOCATED TRANSFORMER AND COMMUNICATIONS PAD. COORDINATE LOCATION WITH OWNER OF LOT.



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

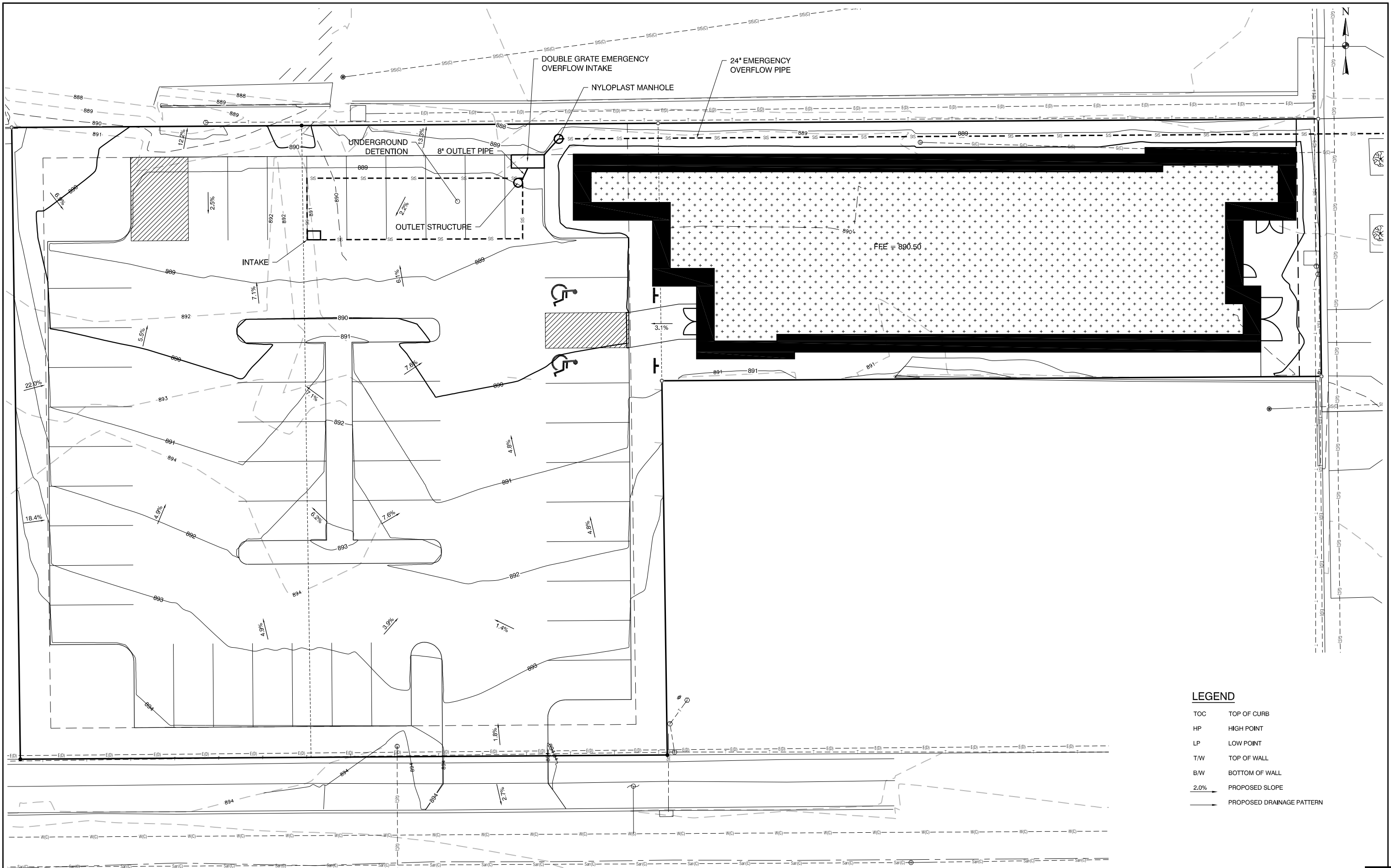
CGA Clapsdille-Garber Associates, Inc.
16 East Main Street
Marshalltown, Iowa 50158
Ph 641-752-6701
www.cgaconsultants.com

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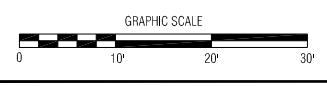
COLLEGE HILL
CEDAR FALLS, IOWA

LAYOUT PLAN

PROJECT: 562
SHEET NO. C.200



- LEGEND**
- TOC TOP OF CURB
 - HP HIGH POINT
 - LP LOW POINT
 - T/W TOP OF WALL
 - B/W BOTTOM OF WALL
 - 2.0% PROPOSED SLOPE
 - PROPOSED DRAINAGE PATTERN



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

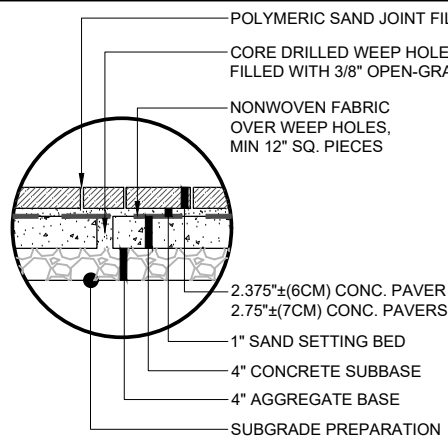
CGA Clapsaddle-Garber Associates, Inc.
 16 East Main Street
 Marshalltown, Iowa 50158
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DESIGNED: _____ DATE: _____
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COLLEGE HILL
 CEDAR FALLS, IOWA

GRADING PLAN

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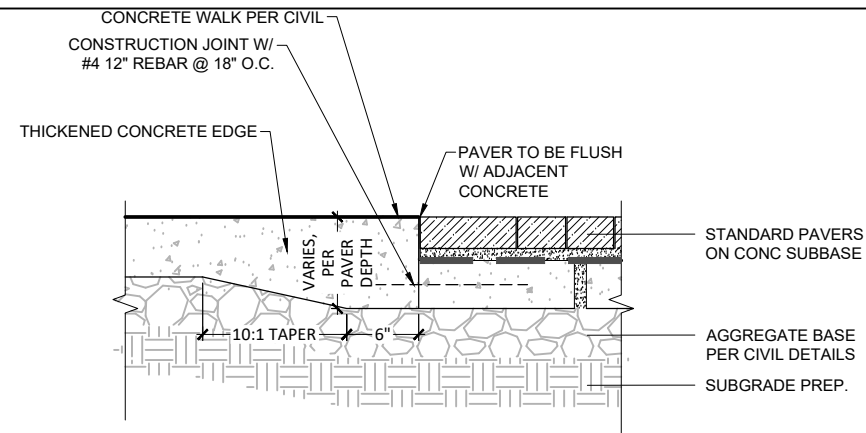


COLLEGE STREET PAVERS
 UNILOCK CONTACT: BRAD PUNK 630-892-9191
 PRODUCT: HOLLAND STONE
 SIZE: 4"x8"x2.375"
 COLOR: MATCH EXISTING (RUSTIC RED)
 PATTERN:
 DOUBLE SOLIDER COURSE AT CURB
 90 DEGREE HERRINGBONE INFILL
 OR APPROVED EQUAL PRODUCT

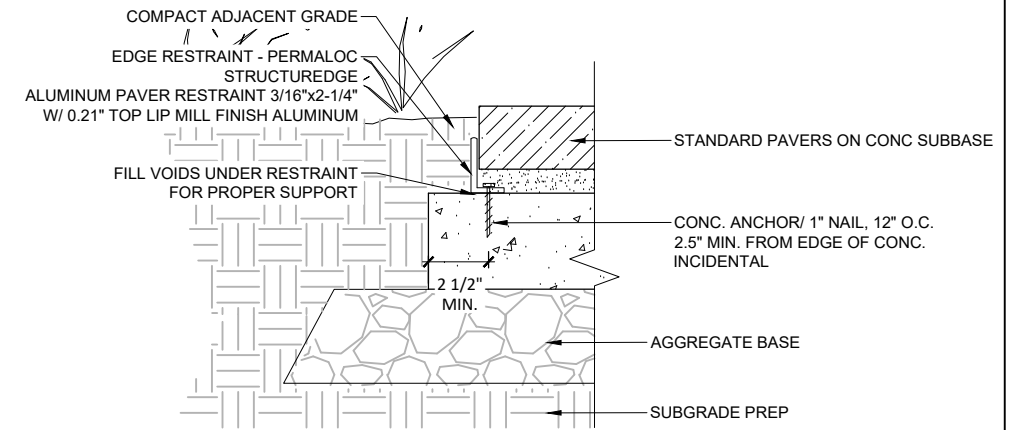
ACCENT BAND PAVERS
 UNILOCK CONTACT: BRAD PUNKE 630-892-9191
 PRODUCT: SERIES
 SIZE: 4"x8"x2.75"
 COLOR: ONYX BLACK / BLACK GRANITE
 PATTERN: RUNNING BOND
 OR APPROVED EQUAL PRODUCT

1 PAVERS OVER CONCRETE SUBBASE

SCALE: N.T.S.

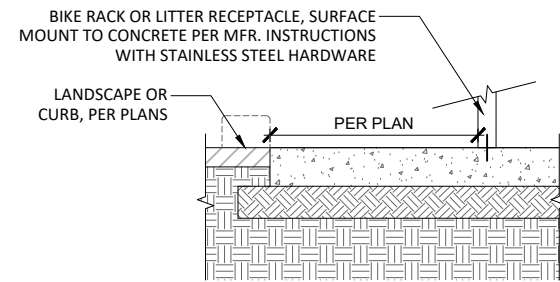


2 SECTION: CONCRETE SIDEWALK / PAVER INTERFACE



3 SECTION: LANDSCAPE BED / PAVER INTERFACE

SCALE: N.T.S.



BIKE RACK: DERO: RR2H-C; FINISH: POWDERCOAT BLACK; WEDGE ANCHOR: .375x3.00
 CONTACT: AUDREY KITTRELL, 319.320.7439 or 612.359.0689
LITTER RECEPTACLE: VICTOR STANLEY: SD-42; FEATURES: BLACK PLASTIC LINER, STANDARD TAPERED FORMED LID, LATCH; FINISH: POWDERCOAT BLACK
 CONTACT: BECKY WHELAN, 301.855.8300 ext. 375 or SALES@VICTORSTANLEY.COM

NOTES:
 1. SURFACE MOUNT ALL FURNISHINGS PER MANUFACTURER'S INSTRUCTIONS.

4 SURFACE MOUNT FURNISHINGS

SCALE: N.T.S.

© Bolton & Menk, Inc. 2018. All Rights Reserved. H:\SLINGSHO_PRT16211661\CAD\C3D\Sheets\L2.0 SITE DETAILS.dwg 11/1/2018 3:46:19 PM



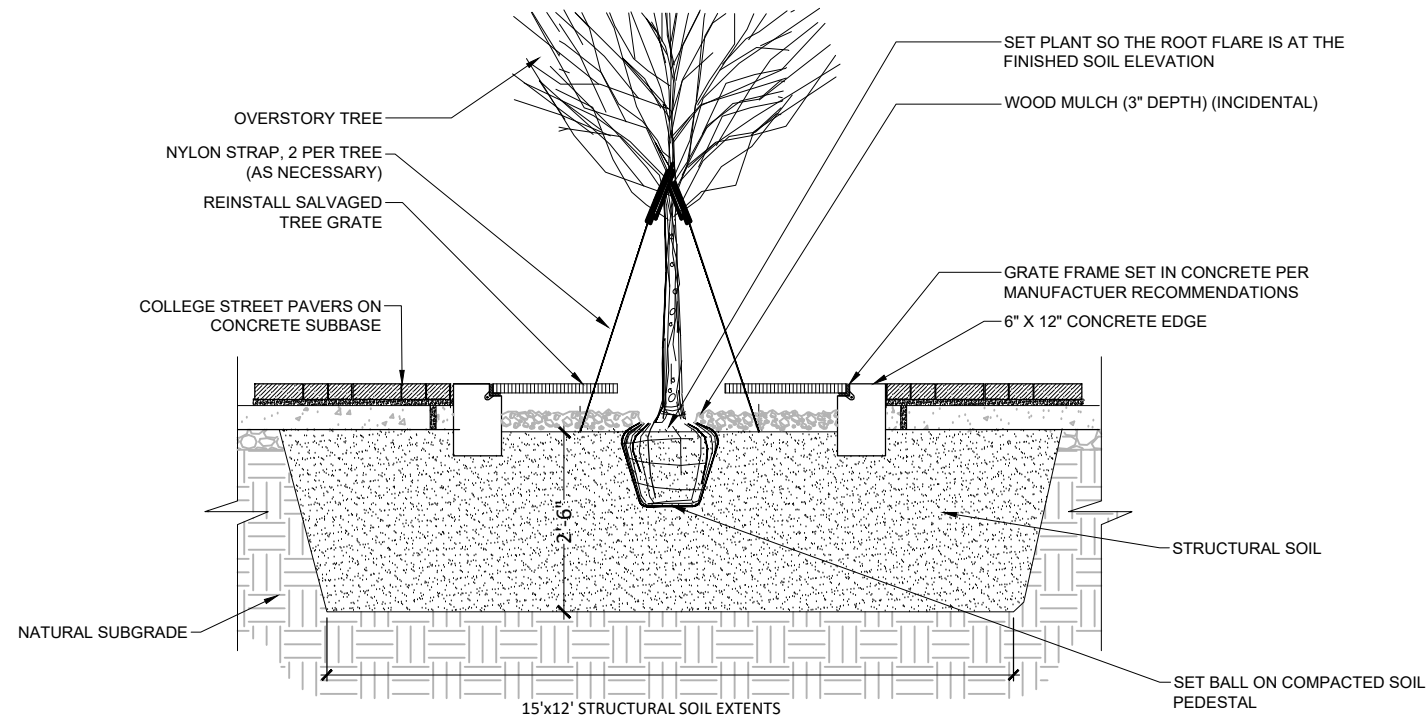
309 E 5TH STREET
 DES MOINES, IO 50319
 Phone: (515) 261-1111
 Email: DesMoines@boltonmenk.com
 www.bolton-menk.com

42

DESIGNED	NO.	REVISION	DATE
SJK			
DRAWN			
NMW			
CHECKED			
SJK			
CLIENT PROJ. NO.	XXXXXXXXXX		

COLLEGE HILL
 CEDAR FALLS, IOWA
 SITE DETAILS

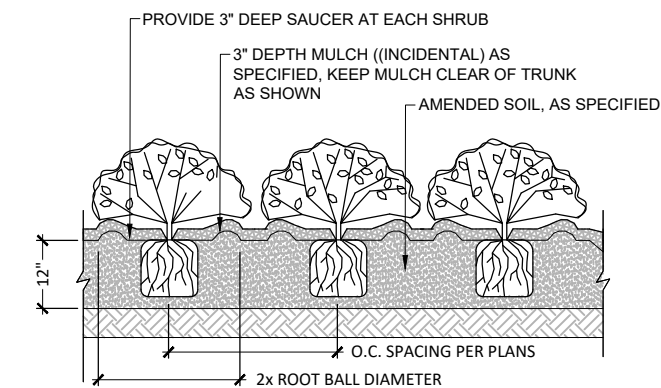
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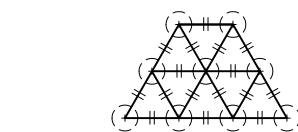
TREE GRATE PLANTING NOTES:

1. CONTRACTOR TO SALVAGE AND REINSTALL TREE GRATES ON COLLEGE AVE OR INSTALL NEW TREE GRATES TO MATCH EXISTING SIZE AND STYLE
2. REFER TO MANUFACTURERS SPECIFICATIONS FOR INSTALLATION DETAILS
3. EACH NEW TREE PIT SHALL CONTAIN APPROXIMATELY 17 CY OF STRUCTURAL SOIL (15'x12'x2.5' DEEP)

1 TYPICAL SECTION: TREE GRATE
SCALE: N.T.S.

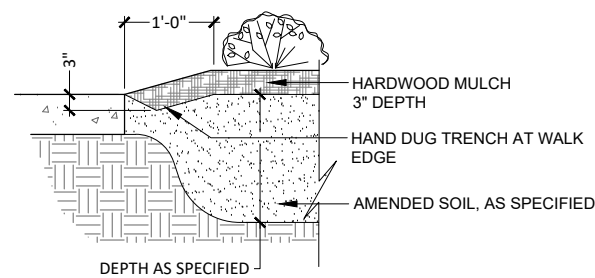


2 SHRUB/PERENNIAL BED PLANTING
SCALE: N.T.S.

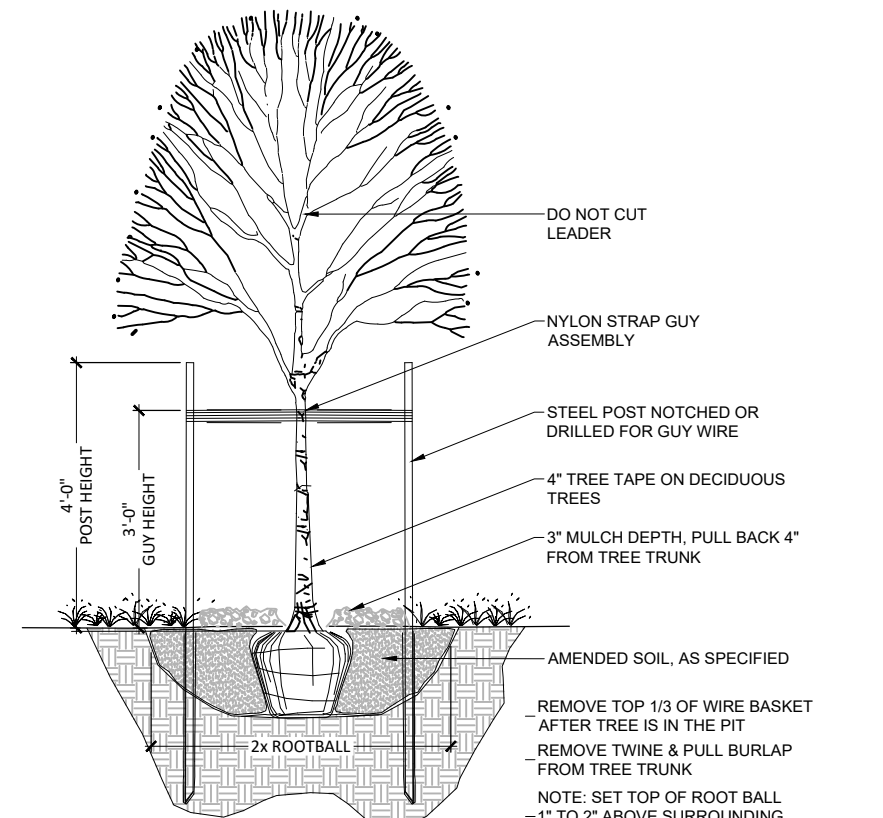


- NOTES:**
1. O.C. TRIANGULAR PLANT SPACING PER PLANS
 2. AREAS IDENTIFIED ON PLANTING PLAN AS O.C. SHALL BE TRIANGULAR SPACED
 3. SEE PLANTING PLAN FOR SPECIES

3 PERENNIAL PLANT SPACING
SCALE: N.T.S.



5 PLANTING EDGE AT EXISTING CONC. WALK
SCALE: N.T.S.



2 TREE PLANTING DETAIL
SCALE: N.T.S.

PLANTING NOTES

1. PRIOR TO DIGGING, IT IS REQUIRED BY LAW TO CALL IOWA ONE CALL FOR UTILITY LOCATIONS.
2. MASTER PLANT SCHEDULE: ALL TREES, PERENNIALS AND SHRUBS ARE LISTED IN THE MASTER PLANT SCHEDULE. IF THERE IS A CONFLICT BETWEEN THE QUANTITIES SHOWN ON THE DRAWINGS AND THE QUANTITIES SHOWN IN THE PLANT SCHEDULE, THE PLAN QUANTITIES SHALL PREVAIL.
3. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND PROPOSED UTILITY LINES AND SHALL COORDINATE LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR CONFLICTS TO LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
4. ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I. Z60.1) LATEST EDITION PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, WASHINGTON D.C.
9. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING SOIL.
10. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR IT SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
11. PLANTING LAYOUT: STAKE ALL TREE LOCATIONS AND A TYPICAL PERENNIAL BED LAYOUT AND OBTAIN APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
12. PERENNIAL GROUPINGS SHALL BE PLANTED AND MULCHED IN ONE CONTINUOUSLY MULCHED BED.
13. AMENDED SOIL MIX AND SHREDDED HARDWOOD MULCH SHALL BE INCIDENTAL TO THE PLANTING BID ITEMS AND SHALL MEET THE FOLLOWING SPECIFICATIONS:

MULCH:

- A. FINELY SHREDDED OR PROCESSED HARDWOOD BARK GRADED FROM 0.25 IN. - 0.5 IN. DIAMETER AND A MAX. OF 3 IN. IN LENGTH.
- B. GREEN OR FRESHLY CHIPPED OR SHREDDED MULCH SHALL BE REJECTED.
- C. MULCH TO BE FREE OF WEEDS, WEED SEED, CHAFF, DISEASES, OR OTHER FOREIGN MATERIAL.

AMENDED SOIL:

- A. EXCAVATION SOIL FROM GRADING, TRENCHING, OR CLEARING SHALL NOT BE USED IN MAKING AMENDED SOIL.
- B. AMENDED SOIL MIX SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 1.1. TOPSOIL: WELL COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE 5.5 TO 7; MOISTURE CONTENT 35 TO 55% BY WEIGHT, 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT OF 2.5 DECISEMENS/M: NOT EXCEEDING 0.5% INERT CONTAMINANTS AND FREE OF TOXIC SUBSTANCES.
 - 1.2. ORGANIC MATTER: A PRODUCT OF PEAT MOSS, COMPOST OR LOCALLY AVAILABLE ORGANIC WASTE. ORGANIC MATTER SHOULD BE FREE FROM DEBRIS, WEED SEEDS AND INSECTS OR DISEASES WHICH MAY BE HARMFUL TO INTENDED PLANTINGS.
 - 1.3. SAND: CONCRETE SAND, HAVING A FINENESS MODULUS (FM) BETWEEN 1.8 AND 2.5.
- C. CONTRACTOR TO BLEND TOPSOIL, ORGANIC MATTER AND SAND IN THE FOLLOWING RATIOS TO FORM AMENDED SOIL MIXTURE:
 - 8" TOPSOIL
 - 3" ORGANIC MATTER
 - 1" SAND MIXTURE
 AMENDED SOIL TO BE WELL-TILLED TO A DEPTH OF 8".

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DESIGNED	NO.	REVISION	DATE
SJK			
DRAWN			
NMW			
CHECKED			
SJK			
CLIENT PROJ. NO.	XXXXXXXXXX		

COLLEGE HILL

CORNER OF COLLEGE AND 22ND



COLLEGE HILL

FRONT VIEW



COLLEGE HILL

COLLEGE STREET VIEW



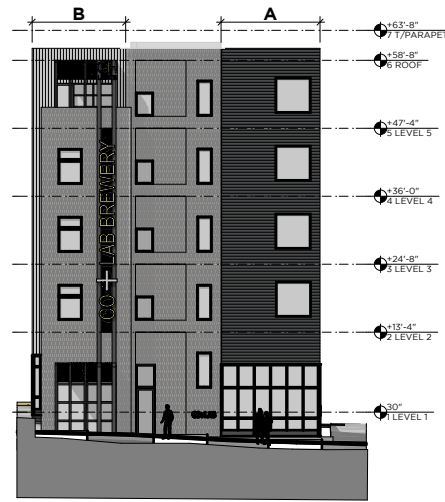
COLLEGE HILL

COLLEGE RESIDENTIAL ENTRY



COLLEGE HILL

ELEVATIONS



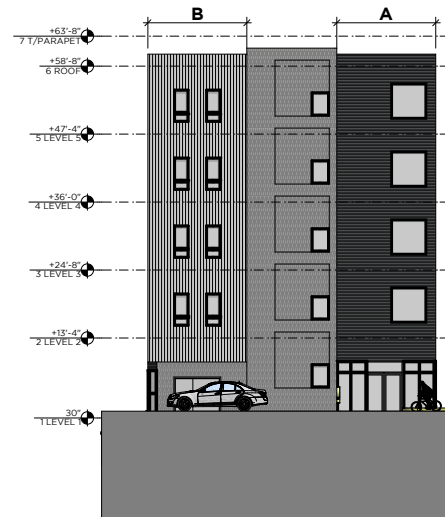
(1) EAST ELEVATION

METAL PANEL - 30%
BRICK - 47%
OPENINGS - 23%



(2) SOUTH ELEVATION

METAL PANEL - 50%
BRICK - 33%
OPENINGS - 17%



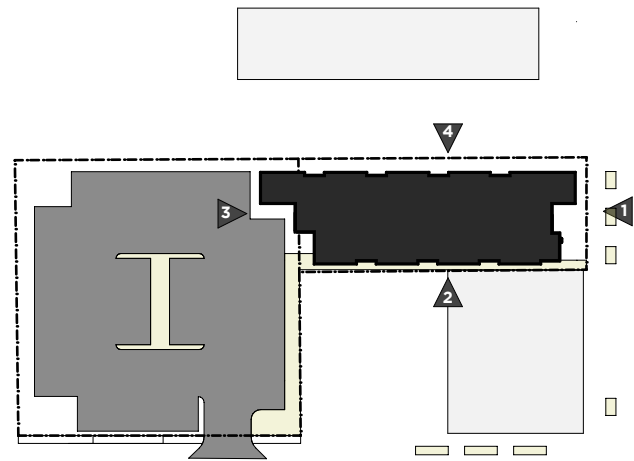
(3) WEST ELEVATION

METAL PANEL - 50%
BRICK - 32%
OPENINGS - 18%

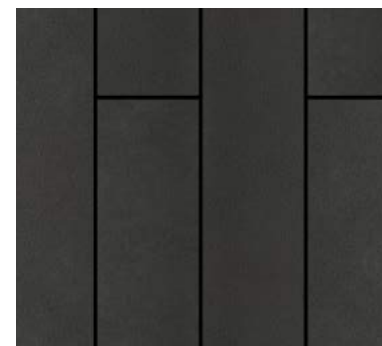


(4) NORTH ELEVATION

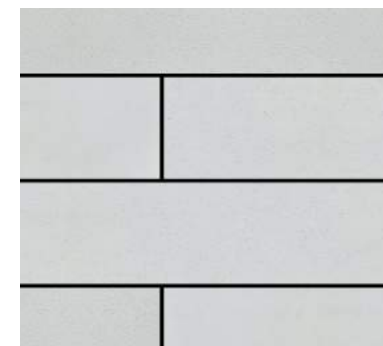
METAL PANEL - 52%
BRICK - 24%
OPENINGS - 24%



KEY PLAN



(A) METAL PANEL



(B) METAL PANEL



BRICK



BRICK DETAILING

COLLEGE HILL

FLOOR LEVELS




APARTMENT RENTABLE SQUARE FOOTAGE

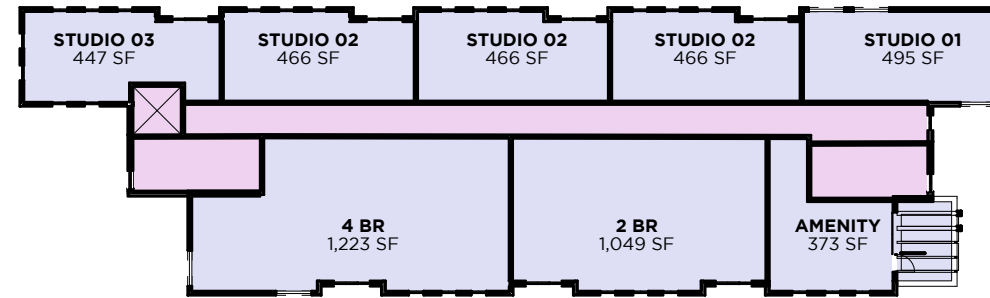
UNIT TYPE	QTY.	UNIT SQ. FT.	TOTAL SQ. FT.
STUDIO 01	4	495	1,980
STUDIO 02	12	466	5,592
STUDIO 03	4	447	1,788
STUDIO 04	3	500	1,500
2 BEDROOM	4	1,049	4,196
4 BEDROOM	4	1,223	4,892
TOTAL	31		19,948
TOTAL BEDS	47		
ON-SITE PARKING	47 (2 ACCESSIBLE STALLS)		

GROSS FLOOR AREA

LEVEL	USE	SQ. FT.
LEVEL 1	RETAIL	5,084
LEVEL 1	LOBBY	551
LEVEL 2-5	RESIDENTIAL	19,948
LEVEL 5	AMENITY SPACE	373
TOTAL		25,956

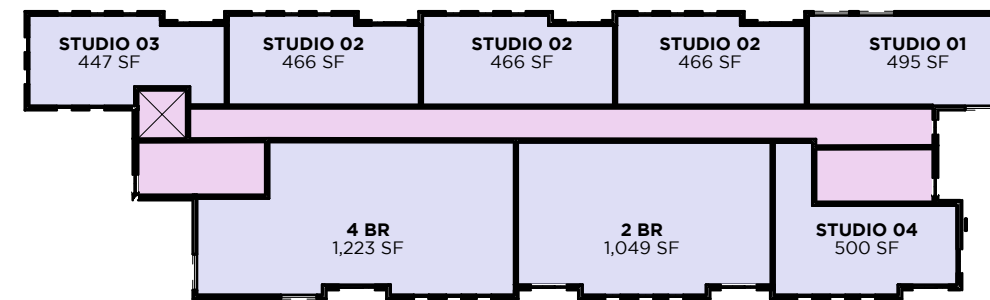
LEGEND

	RESIDENTIAL UNITS
	CIRCULATION
	RETAIL/AMENITY



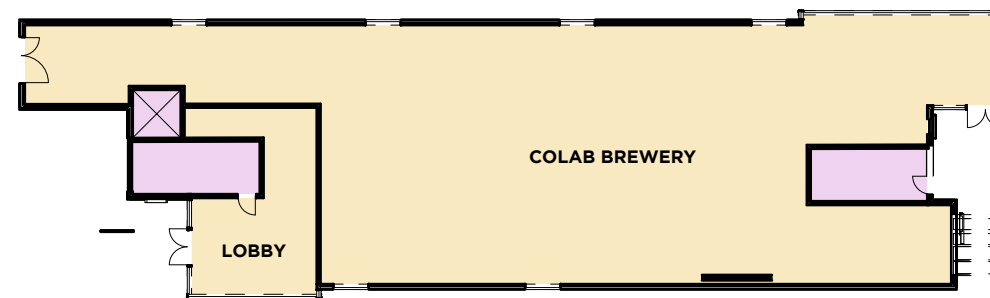
RESIDENTIAL 5 FLOOR PLAN

SCALE: 1/32" = 1'-0"



RESIDENTIAL 2-4 FLOORS

SCALE: 1/32" = 1'-0"

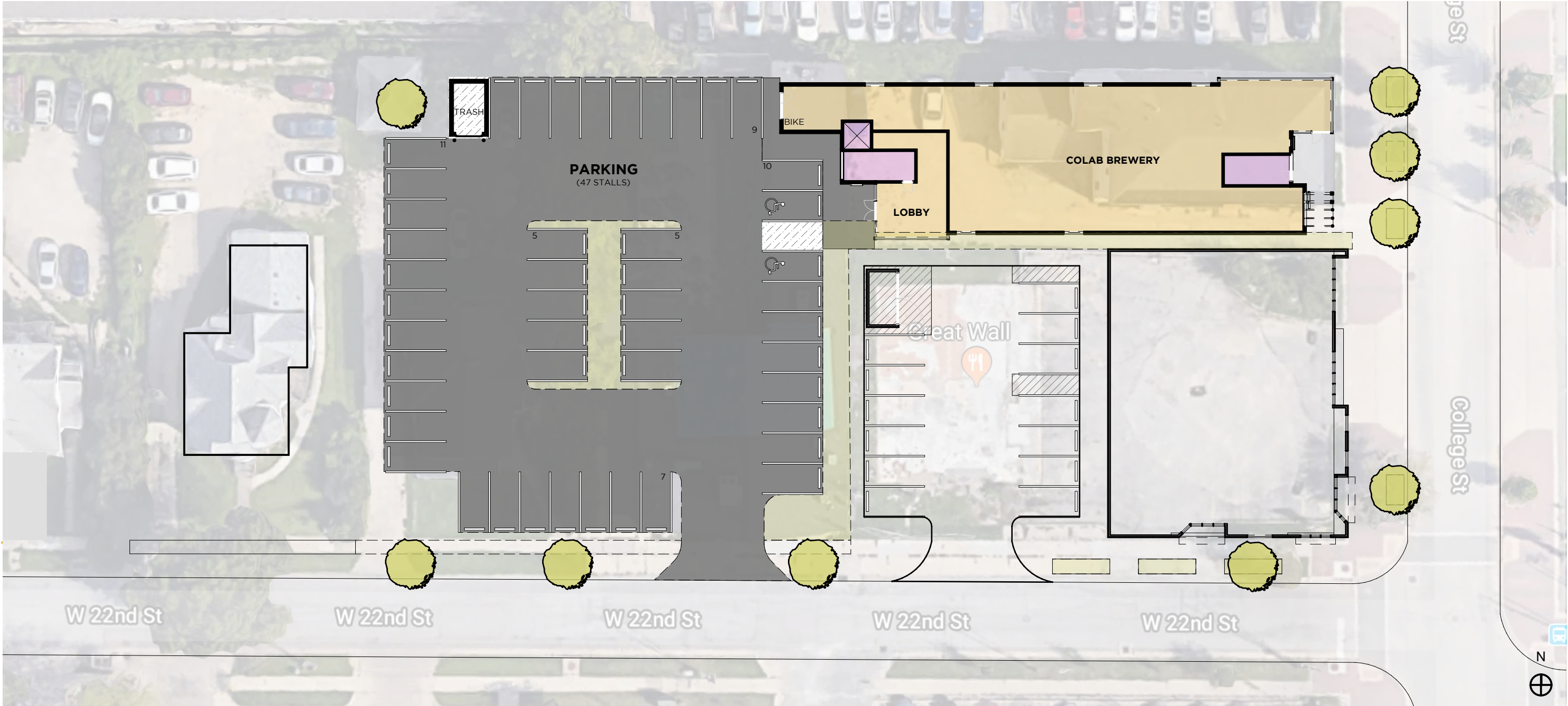


RETAIL 1 FLOOR

SCALE: 1/32" = 1'-0"

COLLEGE HILL

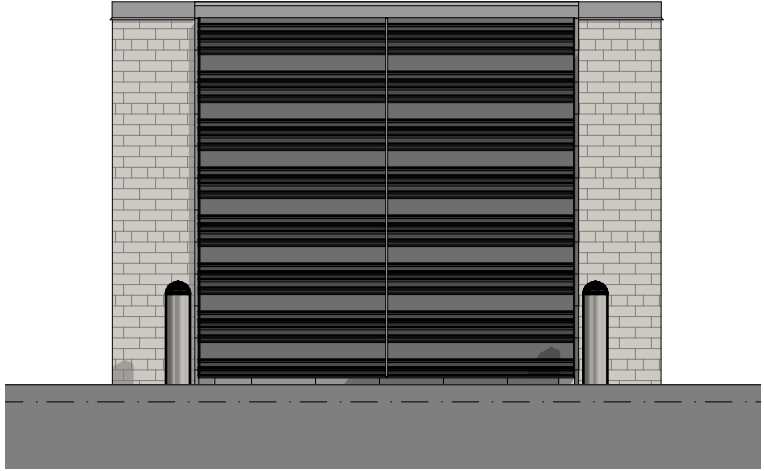
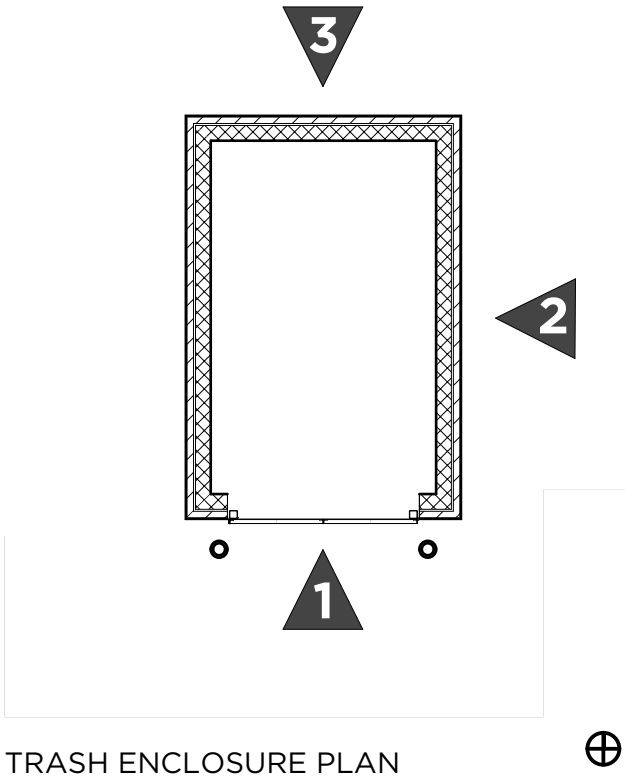
SITE PARKING



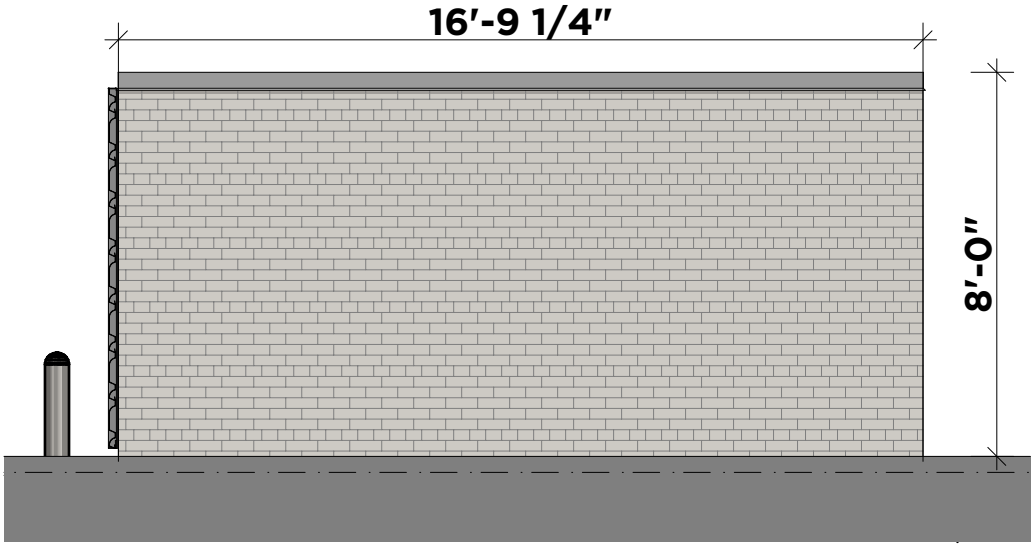
GROUND LEVEL PARKING PLAN

SCALE: 1" = 30'

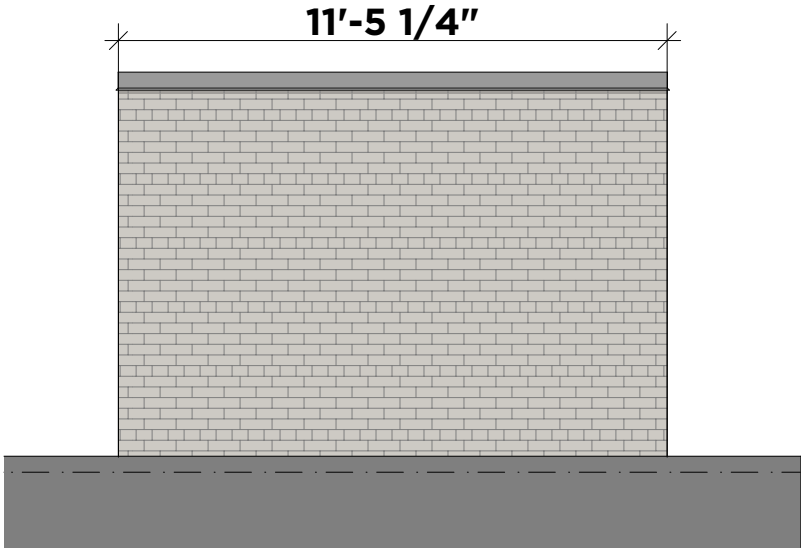
COLLEGE HILL TRASH ENCLOSURE



(1) SOUTH ELEVATION



(2) EAST/WEST ELEVATION



(3) NORTH ELEVATION



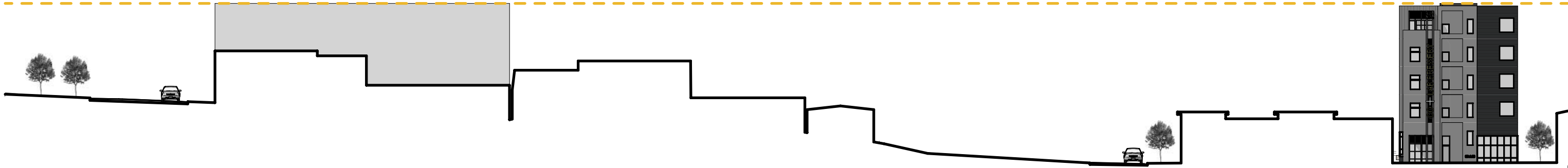
(A) METAL PANEL



BRICK

COLLEGE HILL

STREET SECTION

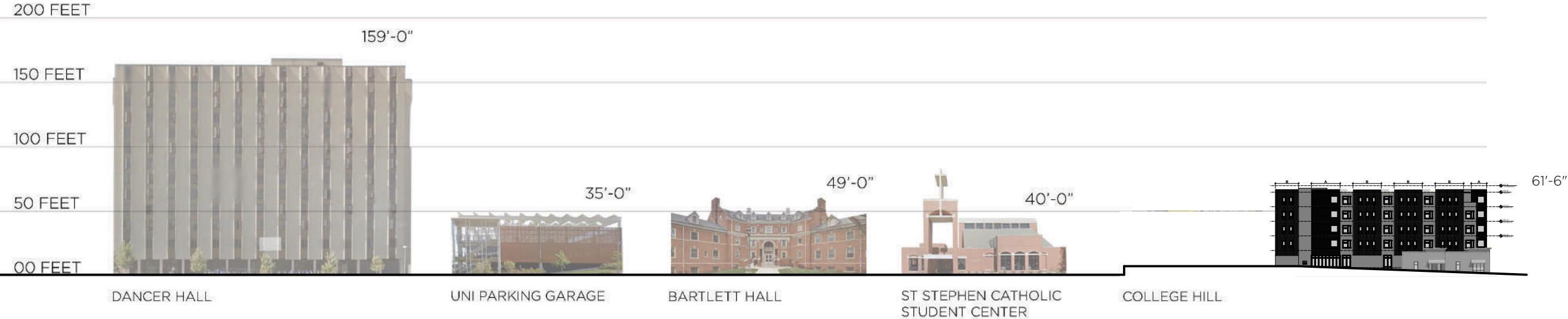


COLLEGE HILL

ELEVATION STUDY



CEDAR FALLS BUILDING HEIGHTS



SLINGSHOT ARCHITECTURE

2018.11.06

David Sturch
City of Cedar Falls
Planning and Community Services
Cedar Falls, IA 50613

RE: College Hill Project - Exterior Building Lighting

David:

In follow up to the staff comments on the project, we also wanted to provide a narrative for the exterior lighting design of the project. Two primary strategies will be implemented and are described below.

First, the face of the building that fronts the public street to the east will be washed with vertical, narrow beam sconces as well as the residential entry on the west. The intent is to light up these active faces of the building to add to the character and safety of the neighborhood. By washing the surfaces of the building, the masonry materiality of the building will be highlighted without producing light spill on to other properties.

For the parking areas, the goal will be to provide safety without producing unnecessary light spilling on to other properties or shining into any residential windows of neighboring properties. All site lighting of the parking lot will meet minimum requirements and limit the light levels at the property line to a maximum of 1 foot candle.

Cut sheets for each lighting types described above are attached for reference.

Please let us know if you have any questions on the items above.

Respectfully submitted,



Dan Drendel, AIA
Slingshot Architecture